



MAYOR TED TOSTERUD
COUNCIL PRESIDENT STEVE PROM COUNCILOR TAMIE ARNOLD
COUNCILOR DAN KREAMIER COUNCILOR NATALIE VORUZ
COUNCILOR MIKE WEATHERBY COUNCILOR BRIAN COOPER

FAIRVIEW CITY COUNCIL AGENDA

Fairview City Hall-Council Chambers
1300 NE Village Street, Fairview, Oregon

WEDNESDAY, NOVEMBER 16, 2016

WORK SESSION

1. MULTNOMAH COUNTY NATURAL HAZARDS MITIGATION PLAN [ASR 16-2016] 6:15 PM
(Nolan Young, City Administrator)
2. UPDATE STATUS & PRIORITIES OF GOAL OBJECTIVES & TASK LIST
(Nolan Young, City Administrator)

REGULAR SESSION

1. CALL TO ORDER 7:15 PM
ROLL CALL
PLEDGE OF ALLEGIANCE
2. CONSENT AGENDA (A)
 - a. Minutes of November 2, 2016
 - b. Adopt 2016 Stormwater Master Plan: Resolution 49-2016 [ASR 15-2016]
 - c. Authorize the City Administrator to enter into a Contract for the 7th Street Sidewalk Construction Project: Resolution 48-2016 [ASR 17-2016]
3. CITIZENS WISHING TO SPEAK ON NON-AGENDA ITEMS (I)
4. PRESENTATION (I)
None
5. CITY ADMINISTRATOR AND DIRECTOR REPORTS (I)
6. MAYOR/COMMITTEE REPORTS AND COUNCIL REPORTS (I)
7. PUBLIC HEARING (A)
None
8. COUNCIL BUSINESS (A)
 - a. Amend the Fairview Municipal Code to Include Penalty Amounts for Class 1 Civil Infractions: Ordinance 10-2016 [ASR 18-2016]
1st Reading & Staff Report
(Heather Martin, City Attorney)
9. ADJOURNMENT (A)

FAIRVIEW CITY COUNCIL AGENDA
November 16, 2016 - PAGE 2

EXECUTIVE SESSION

Park View Conference Room – Following Regular Meeting

1. REVIEW & EVALUATE THE EMPLOYMENT-RELATED PERFORMANCE OF A CHIEF EXECUTIVE OFFICER: ORS 192-660(2)(i)



Ted Tosterud, Mayor

11-10-16

Date

(A) Action requested (I) Information only

NEXT COUNCIL MEETING IS DECEMBER 7, 2016

COUNCIL EXECUTIVE SESSION – IF NECESSARY – END OF MEETING

PARK VIEW CONFERENCE ROOM

ORS 192.660(2)(d) - Labor Negotiations, ORS 192.660(2)(e) - Real Property Transactions,
ORS 192.660(2)(f) - Exempt Public Record and ORS 192.660(2)(h) - Legal Counsel

City Council regular meetings are broadcast live on Comcast Cable Channel 30 or Frontier Channel 38. Replays are shown on Sunday at 4:00 PM and Monday at 2:00 PM following the original broadcast date. Meetings are also available for viewing the Monday following the meeting through MetroEast Community Media at metrocast.peg.tv. Go to the Playlist tab and select Municipal Meetings. Further information is available on our web page at www.fairvieworegon.gov or by calling 503.665.7929. The meeting location is wheelchair accessible. A request for an interpreter for the hearing impaired or for other accommodations for persons with disabilities should be made at least 48 hours before the meeting to 503.665.7929.



AGENDA STAFF REPORT

MEETING DATE	AGENDA ITEM #	REFERENCE NUMBER
November 16,2016	Work Session #1	16-2016

TO: Mayor and City Council
FROM: Nolan K. Young, City Administrator
DATE: November 8, 2016

ISSUE:

Review and comment on Multnomah County Multi-Jurisdictional Natural Hazards Mitigation Plan (NHMP)

BACKGROUND:

Since 2015, Multnomah County Emergency Management has been developing the County Multi-Jurisdictional Natural Hazards Mitigation Plan (NHMP). Staff from the City of Fairview has been serving on the advisory committee. This plan is required by the Federal Emergency Management Agency (FEMA) in order to access their programs. The plan includes unincorporated areas of Multnomah County and cities of Fairview, Gresham, Troutdale and Wood Village.

The NHMP is available for public comment through December 2 at <https://multco.us/em/natural-hazard-mitigation-planning>. We have placed this information on our web site: <http://or-fairview.civicplus.com/CivicAlerts.aspx?AID=319>

This item is on the November 16 Council Work Session to allow the City Council to review the scoring and ranking of the six identified hazards and the potential action items that Fairview may be looking into over the next five years. Attached to this Agenda Staff Report is the following exhibits with additional information.

- Exhibit #1: Information on the purpose of the plan and the planning process.
- Exhibit #2: Appendix C which identifies our ranking of the identified six Natural Hazards.
- Exhibit #3: Top Mitigation Actions chart (50 actions) from Section 4 “Mitigation Strategy”. Fairview has identified 12 actions to engage in over the next 5 years (2017-2022): items 1-7 for all hazards, items 15, 18 & 20 for earthquakes and items 22 & 23 for floods. In addition we recommend adding item 34 for severe weather.

COUNCIL ALTERNATIVES:

This is an opportunity for the council to identify comments we wish to submit on the plan, including our Hazard Risk Scores and Mitigation Actions.

Natural Hazard Mitigation Planning

What is mitigation?

Mitigation is the effort we take to reduce loss of life and property by lessening the impact of disasters. By taking action now - before the next disaster - to reduce the human and financial consequences later. Examples of mitigation actions include restoring flood plains to prevent flooding in urban areas, securing bookshelves and appliances to reduce hazards, or replacing aging public infrastructure to be more disaster resilient.

Why do we need a Natural Hazard Mitigation Plan?

Mitigation planning creates safer communities, saves money, and enables individuals to recover more rapidly from disasters. With a federally approved plan in place, Multnomah County and the jurisdictions covered by the plan are also eligible to apply for grant funding for hazard mitigation projects. These funds can assist with mitigation actions identified during the hazard mitigation planning process.

The county's role in updating the plan

Multnomah County adopted its first hazard mitigation plan in 2006. Since then, the county updates the plan every five years to reflect changes in development, progress in local mitigation efforts, and changes in priorities. We are currently in

The Planning Process

A natural hazard mitigation plan update requires extensive review and stakeholder input to ensure the plan is up-to-date and relevant to the current hazards. This page lists the steps taken during the planning process.

Who participates in the planning process?

This essential step includes identifying and organizing interested members of the community as well as the technical expertise required during the planning process. There are multiple levels of participation:

- **Steering Committee** - advisory committee representing community planning, emergency management, and public works interests from each jurisdiction
- **Interested Stakeholders** - representatives of local governments, agencies, non-

- governmental organizations, and others potentially affected by the planning outcomes
- Subject matter experts for identified hazards
 - Community members

Hazard Identification and Risk Assessment

A hazard analysis determines what types of hazards are present within Multnomah County and the associated risk. The current plan identifies the following hazards:

- Earthquakes
- Wildfires and wildland/urban interface fires
- Landslides
- Floods
- Volcanic hazards
- Other hazards review - drought, subsidence, expansive soils, extreme temperatures, and human-cause hazards

During the plan update the Steering Committee is reassessing the hazard identification and update risk assessments. In addition, grant funding was received to address technological and human-caused hazards.

Public engagement

Early in the update process, the Multnomah County Office of Emergency Management worked with individual cities and communities to provide engagement opportunities during the summer of 2015.

- City of Wood Village National Night Out | Friday, July 17th, 2015 | Wood Village Baptist Church | 5:00 pm - 9:00 pm
- Troutdale Summerfest | Saturday, July 18th, 2015 | Glen Otto Park | 10:00 am - 4:00 pm



- City of Fairview National Night Out | Tuesday, August 4th, 2015 | Fairview Community Park | 5:00 pm - 8:00 pm
- Corbett National Night Out | Tuesday, August 11th, 2015
- Sauvie Island Community Association | September 2015

The draft plan is now available for public comment through December 2nd.

Developing a mitigation strategy

One of the benefits of the planning process is identifying strategies and actions that can be taken to mitigate against the hazards identified in the plan. The following are some examples of mitigation actions and strategies. Items with links are actions taken by the County and local jurisdictions as examples of mitigation actions.

- [Redevelopment of a floodplain to reduce flooding in urban areas](#)
- [Replacement of aging transportation infrastructure to reduce the affects of a seismic event](#)
- [Upgrade or replacement of facilities that house critical functions and don't meet current seismic standards](#)

Mitigation actions take into account life safety, property protection, technical feasibility, public support, environmental impacts, and other community objectives.

[Learn more about what mitigation steps you can take to protect your home and property against natural hazards.](#)

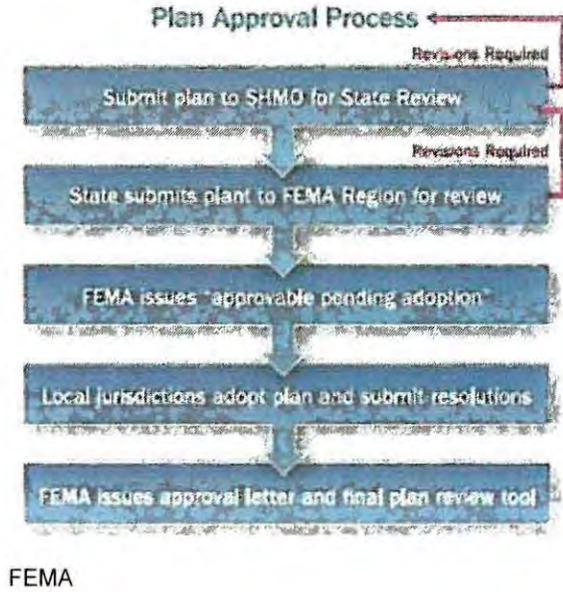
Completing the draft plan

The input received during the planning process will be integrated into a 2017 draft plan for review by stakeholders and the public. The 2017 update also includes a merging of the county and cities of Gresham, Troutdale, Fairview, and Wood Village plans into one multi-jurisdictional plan. The City of [Portland](#)

currently maintains a separate hazard mitigation plan.

Plan approval and adoption

When the updated plan draft is complete, and stakeholder and public engagement input has been received, the plan will go to the State of Oregon for preliminary approval. Once that approval is received, the plan is forwarded to FEMA for final approval. The approved plan is then brought to respective City and County Commissioners for local approval and adoption.



Natural Hazard Mitigation Planning

The draft Natural Hazard Mitigation Plan is now available for public comment

Page



Community Resources for Hazard Mitigation

Hazard mitigation resources for the community.

Page

Appendix C: Local OEM Hazard Analysis Scores

Overview

The methodology for this hazard analysis was first developed by the Federal Emergency Management Agency (FEMA) in the early 1980s, and was gradually refined by Oregon Emergency Management (OEM). Although nearly every jurisdiction in Oregon uses this process, the range of values is relative only within the individual jurisdiction, unless two or more jurisdictions conduct their analyses at the same time and utilize the same criteria in determining the values to apply. It is not meant to compare one jurisdiction to another under other circumstances, and the Multnomah County calculations and hazard analysis should not be applied to other jurisdictions, even those within the county, without familiarization with the process applied.

This particular hazard analysis is an early step in determining the risk — the potential for harm — facing a community. When complete, it provides a table of relative risks to help focus planning priorities on those hazards most likely to occur and cause the most damage. This analysis, therefore, is constructed to:

- Establish priorities for planning, capability development and hazard mitigation
- Identify needs for hazard mitigation measures
- Educate the public as well as public officials about hazards and vulnerabilities
- Make informed judgments about potential risks

Completing the Local OEM Hazard Analysis

Severity Ratings refer to the impact level the hazard has or potentially could have on the community. Values assigned are subjective; *one person's rare event could be another's frequent!*

DESIGNATION	DESCRIPTION	RATING
LOW	RARE	1 to 3
MODERATE	OCCASIONAL	4 to 7
HIGH	FREQUENT	8 to 10

History is the record of previous occurrences requiring a response.

- Low: 0 to 1 event in the past 10 years
- Medium: 2 to 3 events in the past 10 years
- High: 4 or more events in the past 10 years

Vulnerability is a measure of the percentage of the population and property likely to be affected during an occurrence of an incident.

- Low: Less than 1% affected
- Medium: 1% to 10% affected
- High: More than 10% affected

Maximum Threat is a measure of the highest percentage of the population or property that could be impacted under a worst-case scenario.

- Low: <5% affected
- Medium: 5% to 25% affected
- High: >25% affected

Probability is a measure of the likelihood of a future event occurring within a specified period of time.

- Low: More than 10 years between events
- Medium: 5 to 10 years between events
- High: Likely within the next 5 years

Local Hazard Risk Scores

Table D.1: Local Natural Hazard Risk Rankings by Hazard for All Jurisdictions in the Multnomah County Multi-Jurisdictional Natural Hazards Mitigation Plan (NHMP) Planning Area

	Unincorporated Multnomah County	Gresham	Troutdale	Fairview	Wood Village
HIGH	Earthquake	Earthquake	Severe Storm	Severe Storm	Severe Storm
	Flood	Severe Storm			
	Wildfire				
MODERATE-HIGH				Earthquake	
MODERATE	Severe Storm	Flood	Earthquake	Volcano	Earthquake
		Landslide	Volcano		Volcano
			Flood		Landslide
			Wildfire		
LOW-MODERATE				Flood	Flood
LOW	Landslide	Wildfire	Landslide	Landslide	Wildfire
	Volcano	Volcano		Wildfire	

Table D.2: Unincorporated Multnomah County Natural Hazard Risk Scores

Hazard	History (Weight Factor = 2)	Average Vulnerability (Weight Factor = 5)	Max Vulnerability (Weight Factor = 10)	Probability (Weight Factor = 7)	Risk Score	Risk Ranking
Earthquake	2 x 8	5 x 10	10 x 10	7 x 7	215	High
Flood	2 x 9	5 x 9	10 x 8	7 x 9	206	High
Landslide	2 x 8	5 x 5	10 x 4	7 x 8	137	Low
Volcano	2 x 2	5 x 6	10 x 8	7 x 2	128	Low
Wildfire	2 x 7	5 x 10	10 x 8	7 x 8	200	High
Severe Storm	2 x 8	5 x 7	10 x 6	7 x 9	174	Moderate

Table D.3: Gresham Natural Hazard Risk Scores

Hazard	History (Weight Factor = 2)	Average Vulnerability (Weight Factor = 5)	Max Vulnerability (Weight Factor = 10)	Probability (Weight Factor = 7)	Risk Score	Risk Ranking
Earthquake	2 x 10	5 x 10	10 x 10	7 x 10	240	High
Flood	2 x 10	5 x 7	10 x 7	7 x 10	195	Moderate
Landslide	2 x 10	5 x 6	10 x 5	7 x 10	170	Moderate
Volcano	2 x 3	5 x 7	10 x 10	7 x 3	162	Low
Wildfire	2 x 8	5 x 7	10 x 6	7 x 8	167	Low
Severe Storm	2 x 10	5 x 10	10 x 10	7 x 10	240	High

Table D.4: Troutdale Natural Hazard Risk Scores

Hazard	History (Weight Factor = 2)	Average Vulnerability (Weight Factor = 5)	Max Vulnerability (Weight Factor = 10)	Probability (Weight Factor = 7)	Risk Score	Risk Ranking
Earthquake	2 x 1	5 x 10	10 x 10	7 x 1	159	Moderate
Flood	2 x 2	5 x 3	10 x 6	7 x 3	100	Moderate
Landslide	2 x 3	5 x 2	10 x 4	7 x 4	84	Low
Volcano	2 x 1	5 x 10	10 x 10	7 x 1	159	Moderate
Wildfire	2 x 2	5 x 4	10 x 7	7 x 5	129	Moderate
Severe Storm	2 x 7	5 x 10	10 x 10	7 x 7	213	High

Table D.5: Fairview Natural Hazard Risk Scores

Hazard	History (Weight Factor = 2)		Average Vulnerability (Weight Factor = 5)		Max Vulnerability (Weight Factor = 10)		Probability (Weight Factor = 7)		Risk Score	Risk Ranking
Earthquake	2 x	1	5 x	10	10 x	10	7 x	3	161	Moderate-High
Flood	2 x	1	5 x	4	10 x	4	7 x	3	83	Low-Moderate
Landslide	2 x	1	5 x	2	10 x	2	7 x	1	39	Low
Volcano	2 x	1	5 x	6	10 x	6	7 x	2	106	Moderate
Wildfire	2 x	1	5 x	1	10 x	1	7 x	1	24	Low
Severe Storm	2 x	10	5 x	8	10 x	8	7 x	10	210	High

Table D.6: Wood Village Natural Hazard Risk Scores

Hazard	History WF = 2		Average Vulnerability WF = 5		Max Vulnerability WF = 10		Probability WF = 7		Risk Score	Risk Ranking
Earthquake	2 x	1	5 x	10	10 x	10	7 x	1	159	Moderate
Flood	2 x	0	5 x	5	10 x	5	7 x	1	82	Low-Moderate
Landslide	2 x	1	5 x	3	10 x	10	7 x	0	117	Moderate
Volcano	2 x	1	5 x	10	10 x	10	7 x	1	159	Moderate
Wildfire	2 x	1	5 x	1	10 x	1	7 x	1	24	Low
Severe Storm	2 x	10	5 x	8	10 x	10	7 x	10	230	High

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Table 4.2-3: Top Mitigation Actions

Hazard	Action ID	Top Mitigation Actions																										
		Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes																
ALL HAZARDS	1	<p>Leverage existing hazard mitigation public outreach methods to develop a Hazard Mitigation Outreach Strategy for the Planning Area. The strategy will be culturally appropriate, and inclusive of traditionally underserved and underrepresented populations, and access and functional needs.</p> <p>Community System: All Action Type: Education and Awareness Programs NHMP Goals: 1, 2, 3 Carry-over and Consistency Notes: Revises local NHMP actions # 3, 14, 68, 79, 98, 109, 116, 129, 139; consistent with Climate Action Plan actions 15F, 16B, 17C, and the Multnomah County Vulnerable Populations Assessment Report</p>																										
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	Fairview	Police chief with assistance of Public Safety Advisory Committee (PSAC)	3	3	3	3	3	13	General Fund: Police/Emergency Management	City Council Public Safety Advisory Committee; Emergency Operations Plan Addenda																		
	Wood Village	Public Works	2	2	3	3	3	13	General Fund	Public Outreach Program	Newsletter articles regarding all hazards, with a special focus on severe weather (i.e., urban flooding) and volcanic hazards																	
	Gresham	Emergency Management	1	2	3	3	3	12	General Funds/UASI	Public outreach program	Work with Multnomah County Emergency Management and Boise State University to create a Hazard Mitigation Outreach Toolkit to include a hazard mapping program.																	
	2	<p>Share hazard mitigation information to encourage integration into other planning mechanisms, such as comprehensive plans (i.e., Statewide Land Use Goal 7: Areas Subject to Natural Hazards) and development code updates.</p> <p>Community System: All Action Type: Local Plans and Regulations NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP actions # 13, 20, 64, 84, 107; consistent with Climate Action Plan action 15F</p>																										
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Multnomah County	Dept. of Community Services, Land Use Planning Division	2	1	3	3	3	12	General Fund	Coordination Meetings, Land Use Ordinance Amendments																			
Fairview	City's Senior Management Team	2	2	3	3	2	12	General Fund; Utility Funds	Comprehensive Land Use Plan, Land Use Development Ordinance, Utility Master Plans																			
Troutdale	Planning Dept.	3	3	3	3	3	15	General Fund, grants	Comprehensive Land Use Plan, Zoning Ordinance																			

ALL HAZARDS	Enhance the list of plans, policies and codes for each jurisdiction that address hazards in the Hazard Mitigation Plan. Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2 Carry-over and Consistency Notes: New action											
	3	Prioritization Criteria										
		Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
		Multnomah County	Emergency Management	1	2	3	1	3	10	General Fund; Emergency Management Program Grants funds	Comprehensive Land Use Plan, Zoning Ordinance	
		Fairview	City's Senior Management Team	2	2	3	3	3	13	General Fund	Senior Management Team	
	Gresham	Planning Department	2	3	3	3	3	14	General Funds	Floodplain Code	Complete Environmental Overlay Project and update floodplain code to reflect newer federal guidelines intended to ensure Endangered Species Act considerations are included in floodplain management decisions.	
	Work cross-jurisdiction with the Portland Metro Region's Urban Area Security Initiative's (UASI) Regional Disaster Preparedness Organization (RDPO) to develop a Post-Disaster Recovery Plan for the region. This project has been approved by the RDPO to receive UASI 2016 grant funding. Community System: All Action Type: Local Plans and Regulations NHMP Goals: 1, 2, 4 Carry-over and Consistency Notes: New action											
	4	Prioritization Criteria										
		Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
		Multnomah County	Emergency Management	1	2	3	1	2	9	Emergency Management Program Grant Funds	RDPO Post Disaster Recovery Plan	
Fairview		City's representative to RDPO	3	3	1	2	2	11	General Fund, UASI 2016 Grant	RDPO Post Disaster Recovery Plan		
Troutdale	City Manager	3	3	3	3	3	15	General Fund	RDPO Post Disaster Recovery Plan			

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ALL HAZARDS	<p>Integrate hazard risk assessments with jurisdiction/agency continuity of operations requirements to identify mitigation priorities; e.g., facilities that house critical functions and are at risk should be prioritized for mitigation/retrofit/alternative projects within each agency's Capital Improvements Program. Consideration should be given to life safety vs. habitable vs. operational. Document what has already been mitigated and make info easily accessible. The list of mitigation needs can also be used after a disaster to include mitigation during recovery/repair activities.</p> <p>Community System: Infrastructure Action Type: Local Plans and Regulations NHMP Goals: 1, 2, 4</p> <p>Carry-over and Consistency Notes: Revises local NHMP actions # 15, 19, 42, 48, 59, 70, 78, 83, 91, 108, 137</p>																							
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		Jurisdiction	Lead																					
	Multnomah County	Department of County Assets	1	2	2	3	2	10	Building Base, Project Specific (Capital Improvement Plans), or Grants, if available.	Facilities and Property Management development and adoption of policy or procedure														
	Fairview	City's Senior Management Team	2	3	1	2	1	9	General Fund, Utility Funds	Continuity of Operations Plan														
	Troutdale	Public Works	3	3	3	3	3	15	Utility Funds	Continuity of Operations Plan														
	<p>Explore and document in the plan how hazard mitigation is integrated into the early design process for public facility and infrastructure projects. Explore opportunities to show co-benefits of sustainable and resilient building practices.</p> <p>Community System: Infrastructure Action Type: Local Plans and Regulations NHMP Goals: 2</p> <p>Carry-over and Consistency Notes: Consistent with Climate Action Plan actions 14A, 16</p>																							
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Jurisdiction		Lead																						
Multnomah County		Department of County Assets	1	3	2	3	2	11	Integrate into Project Fund	Facilities and Property Management design process														
Fairview	City's Senior Management Team	3	3	3	2	3	14	Project-specific Funding, (i.e., new public workshop, new well head)	Request For Proposal process for improvement of new structures															
Wood Village	City Manager	1	1	2	3	3	10	General Fund	Development Request For Proposal process															
Troutdale	Public Works	3	3	3	3	3	15	Utility Funds	Include in preplanning for city structures															

ALL HAZARDS	<p>Develop Community Executive Summaries that explain the relevant portions of the Hazard Mitigation Plan to elected officials and members of specific communities. Provide annual progress report updates to the Community Summaries.</p> <p>Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP action # 128</p>																								
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		Jurisdiction	Lead																						
		Fairview	City Administrator	2	2	3	2	1	10	Administration Budget	Emergency Operation Plan Addenda														
	<p>Collaborate and coordinate across the Planning Area to support applications to FEMA Hazard Mitigation Assistance grants and Oregon Seismic Rehabilitation Grant Program annually.</p> <p>Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2, 4 Carry-over and Consistency Notes: Revises local NHMP actions # 4, 18, 36, 69, 82, 112</p>																								
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	Jurisdiction	Lead																							
	Multnomah County	Emergency Management	1	2	3	3	3	12	Emergency Management Program Grant Funds	Capital Improvements Plans															
<p>Assess resources needed for plan implementation and develop capacity options for consideration by participating jurisdictions to pool resources. Develop a cross-jurisdictional team to work on analysis, stakeholder coordination, and grant writing. Partner with state, regional, and academic organizations to coordinate projects related to risk analysis and reduction. Seek opportunities to coordinate planning processes of related plans with similar update cycles, e.g. NHMPs, Community Wildfire Protection Plan, Climate Action Plan.</p> <p>Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2, 4 Carry-over and Consistency Notes: Revises local NHMP action # 130; consistent with Climate Action Plan actions 20C, 20J, 20N</p>																									
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	Jurisdiction	Lead																							
	Gresham	Emergency Management	1	2	3	1	2	9	City Budget	Capital Improvements Plans															

ALL HAZARDS	<p>Seek business alliances and other private sector representation in the mitigation planning process.</p> <p>Community System: Economic Action Type: Planning Process and Analysis NHMP Goals: 1, 2, 4</p> <p>Carry-over and Consistency Notes: Revises local NHMP actions # 16, 80, 127</p>																							
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		Gresham	Emergency Management	2	3	2	1	3	11	City Budget	Emergency Management Work Program													
	<p>Either invite existing Equity Council/Work Group or establish an Equity Working Group to provide guidance to the Hazard Mitigation Plan Steering Committee and other emergency management plans (e.g., Emergency Operations Plans) and programs.</p> <p>Community System: Health and Social Services Action Type: Planning Process and Analysis NHMP Goals: 1, 2, 3</p> <p>Carry-over and Consistency Notes: Consistent with Climate Action Plan actions 16C, 20A and the Multnomah County Vulnerable Populations Assessment Report (2012)</p>																							
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	Multnomah County	Emergency Management	3	1	3	1	3	11	General Fund	Multnomah County Office of Diversity and Equity work program														
<p>Further integrate social vulnerability data into the hazard risk assessment and use this to inform decisions on mitigation priorities.</p> <p>Community System: Health and Social Services Action Type: Planning Process and Analysis NHMP Goals: 1, 2, 3</p> <p>Carry-over and Consistency Notes: Consistent with Climate Action Plan action 14B</p>																								
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	Multnomah County	Emergency Management	3	2	3	1	3	12	Emergency Management Program Grant Funds	Comprehensive Land Use Plan, Zoning Ordinance														

ALL HAZARDS	13	<p>Coordinate with the Joint Office for Homeless Services (JO) to reduce risk to natural hazards for people experiencing homelessness. Work with the JO to educate its staff and partner organizations about hazard exposure maps. Encourage JO to reference hazard exposure maps when siting indoor and outdoor locations for people experiencing homelessness. Coordinate with JO on outreach standard operating procedures for people experiencing homelessness during severe weather, flooding events and other emergency situations.</p> <p>Community System: Health and Social Services, Housing Action Type: Education and Awareness Programs, Local Plans and Regulations NHMP Goals: 2, 3 Carry-over and Consistency Notes: New action</p>										
		Prioritization Criteria										
		Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
Multnomah County	Emergency Management	3	3	3	3	3	15	Emergency Management Program Grant Funds	Johnson Creek Severe Weather Standard Operating Procedure, Severe Weather Standard Operating Procedure			
EARTHQUAKE	14	<p>Advocate for the creation of a Critical Energy Infrastructure (CEI) Hub Disaster Resiliency Workgroup.</p> <p>Community System: Infrastructure Action Type: Local Plans and Regulations NHMP Goals: 1, 2 Carry-over and Consistency Notes: New action, consistent with Portland Mitigation Action Plan</p>										
		Prioritization Criteria										
		Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
Multnomah County	Emergency Management	1	1	3	3	2	10	Emergency Management Program Grant Funds	Not applicable			
EARTHQUAKE	15	<p>Participate in Regional Disaster Preparedness Organization (RDPO)/Oregon Department of Geology and Mineral Industries (DOGAMI) regional HAZUS risk assessment for earthquakes. Provide local data where available. Incorporate new data into next NHMP update.</p> <p>Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP action # 40</p>										
		Prioritization Criteria										
		Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
		Multnomah County	Emergency Management	1	2	3	3	3	12	Emergency Management Program Grant Funds		New data will inform multiple local plans, including the next NHMP
		Fairview	City Administrator	3	3	3	3	3	15	General Fund	City Council goal; Appoint a council representative and staff assistance	New data will inform multiple local plans
		Wood Village	City Manager	2	1	3	3	3	12	General Fund		New data will inform multiple local plans
Troutdale	Planning Department	3	3	2	3	2	13	General Fund		New data will inform multiple local plans		
Gresham	Geographic Information Systems	1	2	3	3	3	12	Administration budget		Update city risk maps utilizing new HAZUS data.		

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EARTHQUAKE	<p>Between 2016 and 2018, conduct a Seismic Feasibility Study on the Burnside Bridge, a regional lifeline route, to evaluate various rehabilitation and replacement alternatives for a seismically resilient crossing. Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP action # 41</p>																				
	16			<table border="1"> <tr> <th colspan="5">Prioritization Criteria</th> </tr> <tr> <th>Equity</th> <th>Benefit</th> <th>Cost</th> <th>Risk</th> <th>Capacity</th> </tr> </table>					Prioritization Criteria					Equity	Benefit	Cost	Risk	Capacity	Potential Funding	Potential Implementation Mechanism	Notes
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	Equity	Benefit	Cost	Risk	Capacity																
	Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score													
	Multnomah County	Department of Community Services, Division of Transportation, Bridges	1	2	3	3	3	12	General Fund	Willamette Bridge Capital Improvement Plan											
	<p>Seek funding, between 2017 and 2019, for a National Environmental Policy Act (NEPA) study to help the county make an informed decision on which alternatives from the Seismic Feasibility Study should be further evaluated in the design phase. Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP action # 41</p>																				
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Multnomah County	Department of Community Services, Division of Transportation, Bridges	1	2	1	3	2	9	To Be Determined	Willamette Bridge Capital Improvement Plan												
<p>Many agencies within the county have begun to analyze facility-specific seismic risk, e.g., Multnomah County and the Port of Portland. County stakeholders should prioritize critical facilities/infrastructure, gather seismic risk data when available (structural and non-structural), prioritize risk assessments where there are gaps, and begin to develop a funding strategy for mitigation of the most critical facilities. Document what has already been mitigated and make information easily accessible. The list of mitigation needs can also be used after a disaster to include mitigation during recovery/repair activities. Community System: Infrastructure Action Type: Planning Process and Analysis NHMP Goals: 1, 2, 4 Carry-over and Consistency Notes: Revises local NHMP actions # 1, 5, 34, 37, 6, 69, 96, 137</p>																					
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Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score														
Fairview	City Administrator	2	3	1	3	2	11	General Fund, Utility Funds	City Council goal	Set as a City Council goal in year 2 of NHMP											
Gresham	Fire and Emergency Services	2	3	1	3	3	12	Oregon Seismic Rehabilitation Grant Fund	Fire and Emergency Services Work Program	Seismically retrofit Fire Station 75, final station in city to be retrofitted											

EARTHQUAKE	Expand seismic retrofit incentive programs for home owners.										
	Community System: Housing Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2										
	Carry-over and Consistency Notes: New action										
	Prioritization Criteria										
19	Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
	Multnomah County	Emergency Management	1	2	2	3	2	10	Unknown	Commercial Property Assessed Clean Energy (CPACE) Project	CPACE includes multi-family properties
	Inventory and perform seismic upgrades to suspended wastewater conveyance pipelines (i.e., roadway crossings, pipe bridges, etc.).										
	Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2, 3										
Carry-over and Consistency Notes: Action # 138											
Prioritization Criteria											
20	Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
	Fairview	Public Works Director	3	3	1	3	1	11	Sewer User Fees	Wastewater Capital Improvement Plan	
	Troutdale	Public Works	3	3	2	3	3	14	Utility Funds	Wastewater Capital Improvement Plan	
	Gresham	Wastewater Services	3	3	2	2	3	13	Utility Funds	Capital Improvement Plan	Analyze existing elevated wastewater conveyance pipeline vulnerabilities.
FLOOD	Over the next five years, install high-water-mark signs to educate the public about flooding potential in targeted locations along or within the leveed areas.										
	Community System: All Action Type: Education and Awareness Programs NHMP Goals: 1, 2										
	Carry-over and Consistency Notes: Action # 44										
	Prioritization Criteria										
21	Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
	Multnomah County Drainage District (MCDD)	Community Affairs	2	2	3	3	3	13	Local Resources	MCDD Community Outreach Plan	

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FLOOD	<p>Partners who signed the Declaration of Cooperation will continue participation in Levee Ready Columbia in order to ensure the Portland metro levee system does not lose accreditation by FEMA or become inactive in the U.S. Army Corps of Engineers' Rehabilitation and Inspection Program. The NHMP Steering Committee will continue to integrate flood mitigation relevant to the levee system by staying actively informed and engaged with Levee Ready Columbia, particularly in review of risk assessments and discussions of the appropriate level of protection for the Portland metro levee system. Encourage inclusion of climate, community, economic and environmental considerations.</p> <p>Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP actions # 6, 45, 71; consistent with Climate Action Plan 15A</p>																								
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	Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score																	
	Fairview	Public Works Director	3	2	3	2	3	13	General Fund	Levee Ready Columbia															
	Wood Village	Public Works	1	1	3	1	3	9	General Fund	Levee Ready Columbia															
	Troutdale	City Manager	3	3	1	3	3	13	General Fund	Levee Ready Columbia															
	MCDD	MCDD - Executive Leadership	3	3	3	3	3	15	Local Resources, Oregon Infrastructure Finance Authority Loans, U.S. Army Corps of Engineers In-kind or Grants	Levee Ready Columbia															
	Sandy Drainage Improvement Company (SDIC)	SDIC - Executive Leadership	3	3	3	3	3	15	Local Resources, Oregon Infrastructure Finance Authority Loans, U.S. Army Corps of Engineers In-kind or Grants	Levee Ready Columbia															
<p>Partners who signed the Declaration of Cooperation to continue participation in Levee Ready Columbia will seek funding to support maintaining certification and accreditation of the Columbia River levee systems, determine appropriate level of flood protection, and educate the public on the benefits and residual risks associated with the levees.</p> <p>Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2, 3 Carry-over and Consistency Notes: New action</p>																									
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Fairview	Public Works Director	3	2	3	2	3	13	General Fund	Levee Ready Columbia																
Troutdale	City Manager	3	3	2	2	3	13	General Fund	Levee Ready Columbia																
MCDD	MCDD - Executive Leadership	3	3	3	3	3	15	Local Resources	Levee Ready Columbia																
SDIC	SDIC - Executive Leadership	3	3	3	3	3	15	Local Resources	Levee Ready Columbia																

24	<p>Identify target areas for flood mitigation projects. Are there any high-risk/repetive risk problem areas that should be studied in more detail? Are there specific mitigation projects that should be developed and grants pursued for, e.g. land acquisition, home elevation, business floodproofing, floodplain restoration, stormwater infrastructure. Consider if there are areas at risk to multiple hazards that could be targeted for increased cost benefit, e.g. flood + landslide + liquefaction + lahar.</p> <p>Community System: Economic, Housing, Infrastructure, Natural and Cultural Resource Action Type: Natural Systems and Local Plans and Regulations NHMP Goals: 1, 2, 4</p> <p>Carry-over and Consistency Notes: Revises local NHMP actions #8,10, 43, 46, 47, 141, and Climate Action Plan action 13D</p>																																												
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Gresham	Natural Resources	3	3	2	2	3	13	Federal Emergency Management Administration Hazard Mitigation Grant	Comprehensive Land Use Plan	Utilize the updated 2017 FEMA Flood Risk Maps to identify any new problem areas.																																			
25	<p>Assess whether local regulations should be updated to better protect citizens based on channel migration zone (CMZ) data. Currently, CMZs are mapped for the Sandy River, including an area around Troutdale. In late 2016, a statewide analysis of CMZ susceptibility will be released. This new data will help prioritize future CMZ mapping projects that may include other portions of the Planning Area.</p> <p>Community System: Housing Action Type: Local Plans and Regulations NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: New action</p>																																												
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Multnomah County	Department of Community Services, Land Use Planning Division	1	2	3	3	2	11	General Fund	Land Use Ordinance Adoption																																				

FLOOD	26	<p>Identify stormwater stakeholders to participate on the steering committee during the next update. These subject matter experts will help determine how stormwater management planning and projects should be addressed in the next plan update. Explore if a stormwater subcommittee would be beneficial, or if each jurisdiction will track stormwater projects individually through master plans and Capital Improvement Plans. Consider if mitigation grants should be pursued in funding stormwater projects. Consider opportunities to manage stormwater naturally and prepare for increased stormwater runoff from climate change.</p> <p>Community System: Infrastructure Action Type: Planning Process and Analysis NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Revises local NHMP actions #7, 11, 49, 50, 73, 74, 103, 104, 142, 143, 144; consistent with Climate Action Plan action 15B</p>																							
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		Wood Village	Public Works	1	1	2	1	3	8	Stormwater Utility Fund	Storm Water Master Plan Capital Improvement Projects														
		Gresham	Natural Resources	2	2	3	1	3	11	Stormwater Utility Fund	Comprehensive Land Use Plan	Identify, prioritize, and implement restoration projects that benefit floodplain conditions, fish habitat, and water quality.													
		<p>Flood-proof wastewater manholes and pipelines within the 100-year floodplain.</p> <p>Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Local NHMP Action #140, and FEMA Best Practice</p>																							
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Wood Village	Public Works	1	2	3	1	3	10	Sewer Fund	Infill and Infiltration Plan	There is no flood hazard area (100-year floodplain) within Wood Village, but the city does actively flood-proof wastewater manholes and pipelines.															
Troutdale	Public Works	1	2	3	1	3	10	Utility Funds	Capital Improvement Plan: wastewater																
Gresham	Wastewater Services	1	2	2	2	2	9	Utility Funds	Capital Improvement Plan	Repair/rehabilitate leaking manholes and raise/flood-proof those manholes below the flood plain elevation.															

28	<p>Coordinate with MCDD, SDIC and the Sauvie Island Drainage Improvement Company (SIDIC; collectively, the Districts) when development is proposed in, on or near the levee systems managed by these entities to ensure minimal impact to the levee systems. Land Use, Planning or similar departments will notify the Districts of development that may impact their flood management systems and give them an opportunity to review the plans for impacts to their systems, per U.S. Army Corps of Engineers standards.</p> <p>Community System: Infrastructure Action Type: Local Plans and Regulations NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: New action</p>																									
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	Multnomah County	Department of Community Services, Land Use Planning Division	3	2	3	3	3	14	General Fund	Interagency coordination during development review process																
Troutdale	Public Works, Planning Department	3	3	3	3	3	12	Utility Funds	Pursuant to permits																	
MCDD	MCDD Engineering	3	3	3	3	3	15	Local Resources	Interagency coordination during development review process																	
SDIC	SDIC Engineering	3	3	3	3	3	15	Local Resources	Interagency coordination during development review process																	
29	<p>Replace, and potentially increase capacity of, the primary stormwater pumping station for the SDIC within the next three years. The current capacity is 37,000 gallons per minute and serves more than 1,550 acres, eight miles of ditches, the Troutdale Airport and a variety of property owners, including a major shipping logistics center and traded-sector manufacturers. Currently, the Port of Portland's Troutdale Reynolds Industrial Park (TRIP) has 350 acres of developable land for sale. Future development will increase impervious area in SDIC, greatly increasing the amount of stormwater entering the system. The pump station may need to have a higher capacity for this reason, and appropriate capacity will be explored as part of the project.</p> <p>Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2, 3</p> <p>Carry-over and Consistency Notes: New action</p>																									
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Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes																
SDIC	SDIC Executive Leadership and Engineering	3	3	1	3	3	13	Local Resources, U.S. Economic Development Administration Grants, FEMA Mitigation Grants, U.S. Environmental Protection Agency Grants, Oregon Infrastructure Finance Authority Loans	SDIC Capital Improvement Plan																	

Develop and adopt standards for managing stormwater in landslide hazard areas in accordance with best management practices.

Community System: All Action Type: Natural Systems Protection and Infrastructure NHMP Goals: 1, 2

Carry-over and Consistency Notes: New action

32	Jurisdiction	Lead	Prioritization Criteria					Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
			Equity	Benefit	Cost	Risk	Capacity				
	Multnomah County	Department of Community Services, Land Use Planning Division	2	2	3	3	3	10	General Fund	Land Use Ordinance Adoption	
	Wood Village	Public Works	1	2	3	3	3	12	Stormwater Utility Funds	Public Works standards	
	Troutdale	Planning Dept., Public Works	2	2	3	3	3	13	General Fund	Capital Improvement Plan: wastewater; Comprehensive Land Use Plan	

Use new landslide hazard information, available from DOGAMI in early 2017, to examine road and utility maintenance practices.

Community System: Natural and Cultural Resources Action Type: Natural Systems Protection and Infrastructure NHMP Goals: 1, 2

Carry-over and Consistency Notes: New action

33	Jurisdiction	Lead	Prioritization Criteria					Priority Score	Potential Funding	Potential Implementation Mechanism	Notes
			Equity	Benefit	Cost	Risk	Capacity				
	Multnomah County	Department of Community Services, Land Use Planning Division	2	2	3	3	3	13	General Fund	Land Use Ordinance Adoption	See DOGAMI Special Paper 46 for examples of specialized maintenance practices for landslides conducted in the Bull Run area.
	Wood Village	Public Works	1	2	3	2	3	11	Stormwater Utility Funds	Public Works standards	
	Troutdale	Public works	3	3	3	2	3	14	Utility Funds	Capital Improvement Plan	

SEVERE WEATHER	34	Encourage retrofits that make mobile homes safer in high winds.									
		Community System: Housing Action Type: Education and Awareness Programs NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP action # 121									
		Prioritization Criteria									
		Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism
Multnomah County	Emergency Management	2	2	3	3	2	12	Emergency Management Program Grant and General Fund	Emergency Management Outreach Program	Roughly 20% of the housing stock east of the Sandy River within Multnomah County consists of manufactured homes.	
Wood Village	City Manager	3	2	1	3	2	11	General Fund	Outreach Program	Roughly 30% of the housing stock in Wood Village consists of manufactured homes.	
Troutdale	Building Dept.	1	2	3	3	3	12	Code Specialties	Administration		
VOLCANO	35	Explore the feasibility of limiting critical facilities and/or high-density facilities in the lahar zone (e.g., Pierce County, Washington), and if disclosure of lahar hazard can be included in the permitting processes. (e.g., Orting, Washington).									
		Community System: Economic, Housing, Infrastructure Action Type: Local Plans and Regulations NHMP Goals: 1, 2 Carry-over and Consistency Notes: New action									
		Prioritization Criteria									
Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes	
Troutdale	Planning Dept.	3	1	2	3	2	11	General Fund	Comprehensive Land Use Plan		
WILDFIRE	36	Update the Community Wildfire Protection Plan (CWPP). Integrate the CWPP into the next NHMP update.									
		Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP action # 65, consistent with Climate Action Plan action 14M and the Community Wildfire Protection Plan									
		Prioritization Criteria									
Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes	
Multnomah County	Emergency Management	1	2	3	3	3	12	Emergency Management Program Grant Funds and Other Grant Sources	Community Wildfire Protection Plan		

FLOOD	30	<p>Replace the flow control structure regulating water levels on the TRIP wetland mitigation site within the next year. The current flow control structure insufficiently manages water through two 36-inch culverts placed at different invert elevations. A new flow control structure with an adjustable concrete weir structure and larger diameter culvert with gate valve is needed to properly control the flow of stormwater with greater flexibility to adjust flow in support of flood control in the upstream segment of Salmon Creek and environmental protection.</p> <p>Community System: Infrastructure Action Type: Structure and Infrastructure Projects NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: New action</p>																																																																
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LANDSLIDE	31	<p>Consider new DOGAMI landslide data to identify development and infrastructure at risk. This project will be completed by early 2017. Develop and prioritize mitigation projects based on new data. Incorporate new data into other planning mechanisms, such as comprehensive plans and development codes.</p> <p>Community System: Economic, Housing, Infrastructure Action Type: Planning Process and Analysis and Local Plan and Regulations NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Revises local NHMP actions # 12, 51, 52, 53, 54, 55, 75, 76, 105, 106, 126, 136; and consistent with Climate Action Plan action 15F</p>																																																																
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Troutdale	Planning Dept.	3	3	3	2	3	14	General Fund	Comprehensive Land Use Plan, Zoning Ordinance																																																									

37	<p>Provide educational materials, presentations and demonstration projects on defensible space and wildfire mitigation techniques to communities at risk.</p> <p>Community System: Housing; Economic; Health and Human Services Action Type: Education and Awareness Programs NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Revises local NHMP action # 135, and summarizes Community Wildfire Protection Plan actions #2, 3, 10, 13, 25, 28, 29</p>																										
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Troutdale	Emergency Manager	3	2	2	2	2	11	General Fund	Outreach Program (e.g., champion newsletter, Facebook page and community classes)																		

38	<p>Develop and maintain a prioritized list of potential fuels-reduction projects (i.e., combustible materials) in high-risk areas, including fuel reduction prescriptions and cost estimates. Conduct outreach to community/property owners for priority projects to get buy-in for reduction projects. Seek funding for priority projects with community support.</p> <p>Community System: Natural and Cultural Resources; Housing; Economic; Health and Human Services Action Type: Natural Systems Protection NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Summarizes Community Wildfire Protection Plan actions # 19, 20, and 16</p>																										
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Troutdale	Fire Department	1	3	2	3	3	12	Emergency Management Program Grant Funds and Other Grant Sources	Outreach Program																		

39	<p>Promote fire-safe construction practices for existing and new construction in high-risk areas.</p> <p>Community System: All Action Type: Education and Awareness Programs NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Local NHMP action # 89</p>																										
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Multnomah County	Dept. of Community Services, Land Use Planning Division	2	3	3	3	3	14	General Fund	Land Use Ordinance Adoption																		
Troutdale	Dept. of Community Services, Land Use Planning Division	2	3	3	3	3	14	General Fund	Uniform Building Code amendment and administration; Comprehensive Land Use Plan and Development Code amendment																		

WILDFIRE	40 Consider regulations that require fire-safe construction in high-risk areas using Wildland Urban Interface (WUI) overlays.											
	Community System: All Action Type: Local Plans and Regulations NHMP Goals: 1, 2											
	Carry-over and Consistency Notes: New action, consistent with Community Wildfire Protection Plan											
	Prioritization Criteria											
	Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes	
	Multnomah County	Dept. of Community Services, Land Use Planning Division	2	3	3	3	3	14	General Fund	Land Use Ordinance Adoption		
	41 Use best available data to consider impacts of wildfire risk when developing policy.											
	Community System: All Action Type: Local Plans and Regulations NHMP Goals: 1, 2											
	Carry-over and Consistency Notes: New action, consistent with Community Wildfire Protection Plan											
	Prioritization Criteria											
Jurisdiction	Lead	Equity	Benefit	Cost	Risk	Capacity	Priority Score	Potential Funding	Potential Implementation Mechanism	Notes		
Multnomah County	Dept. of Community Services, Land Use Planning Division	2	3	3	3	3	14	General Fund	Land Use Ordinance Adoption			

Table 4.2-4 Other Mitigation Actions

Hazard	Action ID	Other Mitigation Actions
All Hazard	42	<p>Assess resources needed for plan implementation and develop capacity options for consideration by participating jurisdictions to pool resources. Develop a cross-jurisdictional team to work on analysis, stakeholder coordination and grant writing. Partner with state, regional and academic organizations to coordinate projects related to risk analysis and reduction. Seek opportunities to coordinate planning processes of related plans with similar update cycles, e.g., NHMP, CWPP, Climate Action Plan.</p> <p>Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2, 4 Carry-over and Consistency Notes: Revises local NHMP action # 130; consistent with Climate Action Plan actions 20C, 20J, 20N</p>
	43	<p>Communicate with utility agencies about NHMP actions and priorities, and encourage integration into their planning.</p> <p>Community System: Infrastructure Action Type: Local Plans and Regulations NHMP Goals: 1, 2 Carry-over and Consistency Notes: New action</p>
Earthquake	44	<p>Determine a practical method to track existing public buildings that have had seismic upgrades, and to what degree. This information can be included in future risk assessments to provide more accuracy. The public also would benefit from knowing the seismic status of buildings they occupy or visit. Include seismic data for schools, as available. The Portland Public School District will be developing a stand-alone NHMP.</p> <p>Community System: Economic, Housing Action Type: Planning Process and Analysis NHMP Goals: 1, 2 Carry-over and Consistency Notes: Revises local NHMP actions #2, 67, 97; consistent with public input (6/4/15)</p>
Flood	45	<p>Seek funding to develop future conditions modeling to inform comprehensive planning in floodplain areas.</p> <p>Community System: All Action Type: Local Plans and Regulations NHMP Goals: 1, 2 Carry-over and Consistency Notes: Consistent with Climate Action Plan action 15A</p>
	46	<p>Identify target areas for flood mitigation projects. Are there any high-risk/repetitive risk problem areas that should be studied in more detail? Are there specific mitigation projects that should be developed and for which grants should be pursued, e.g., land acquisition, home elevation, business flood-proofing, floodplain restoration, stormwater infrastructure. Consider if there are areas at risk to multiple hazards that could be targeted for increased cost benefit, e.g., flood + landslide + liquefaction + lahar.</p> <p>Community System: Economic, Housing, Infrastructure, Natural and Cultural Resources Action Type: Natural Systems and Local Plans and Regulations NHMP Goals: 1, 2, 4 Carry-over and Consistency Notes: Revises local NHMP actions #8,10, 43, 46, 47, 141 and Climate Action Plan action 13D</p>
Severe Weather	47	<p>Collaborate with the Climate Action Plan Committee and City of Portland to decrease the urban heat island effect, especially in areas with populations most vulnerable to heat, through strategies such as revegetation, tree preservation planting and maintenance, depaving and porous pavement, green infrastructure such as bioswales and ecoroofs, and site development performance standards.</p> <p>Community System: Health and Social Services, Natural and Cultural Resources Action Type: Local Plans and Regulations NHMP Goals: 1, 2 Carry-over and Consistency Notes: Consistent with Climate Action Plan action 14A and FEMA Best Practice</p>

PUBLIC COMMENT DRAFT - 11/07/2016

Severe Weather	48	<p>Use new guidance on planning drought-ready communities to develop a focused project on drought mitigation planning and outreach.</p> <p>Community System: Health and Social Services, Natural and Cultural Resources Action Type: Natural Systems Protection NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Consistent with Climate Action Plan actions 14G, 14I</p>
	49	<p>Determine what actions are needed to incorporate emergency management criteria into normal maintenance practices to reduce power disruptions from severe weather.</p> <p>Community System: Infrastructure Action Type: Local Plans and Regulations NHMP Goals: 1, 2, 4</p> <p>Carry-over and Consistency Notes: Revises local NHMP actions # 29, 32, 33, 57, 58, 60, 92, 94, 95, 124, 122</p>
Wildfire	50	<p>Work with local fire agencies to (1) integrate new local wildfire data with the regional data in the West-wide Wildfire Risk Assessment for the Planning Area, then (2) update the Wildland Urban Interface (WUI) areas within the Planning Area as needed. Once WUI areas are updated, develop a strategy for tracking vulnerable properties and identifying appropriate mitigation strategies. Prioritize properties with fire response access limitations.</p> <p>Community System: All Action Type: Planning Process and Analysis NHMP Goals: 1, 2</p> <p>Carry-over and Consistency Notes: Revises local NHMP actions # 88, 126, Community Wildfire Protection Plan actions # 24, 23, 30 and Climate Action Plan action 14M</p>

**MINUTES
CITY OF FAIRVIEW
CITY COUNCIL**

November 2, 2016

Council Members

Ted Tosterud, Mayor
Dan Kreamier
Steve Prom
Natalie Voruz
Brian Cooper
Tamie Arnold (~6:25 PM)
Mike Weatherby

Staff

Nolan Young, City Administrator
Allan Berry, Public Works Director
Lesa Folger, Finance Director
Harry Smith, Interim Police Chief
Heather Martin, City Attorney
Devree Leymaster, City Recorder
Erika Palmer, Senior Planner

Commission Members (WS Only)

Ed Jones
Gary Stonewall
Les Bick
Steve Kaufman
Keith Kudrna
Jack McGiffin

WORK SESSION (6:15 PM)

1. JOINT WORK SESSION WITH PLANNING COMMISSION RE: TRANSPORTATION SYSTEM PLAN UPDATE

Mat Dolata, DKS Project Manager, reviewed the purpose of the Transportation System Plan (TSP), the development process of the plan, the findings and needs identified during the process, funding summary, and project categorization and prioritization. (*Exhibit A*) He commented having projects prioritized will help provide information to Metro for the Regional Transportation Plan update in 2017.

Councilor Weatherby commented on the prioritization of wants versus needs; commercial transportation improvements versus pedestrian and bike improvements. Peds/bike improvements are important too, but you have to prioritize needs above wants when there are limited funds.

Mr. Dolata replied the TSP has to include all modes of transportation and agreed prioritization is important.

Mayor Tosterud noted improvements for 223rd Avenue and Marine Drive are listed as a low priority. He remarked the area is getting increased truck traffic and suggested it be increased in priority. Commissioner Jones concurred and commented on the high level of recreational traffic due to the proximity of Chinook Landing Marine Park.

Senior Planner Palmer shared the updates to the TSP requires updates to the Comprehensive Plan and Development Code. Amendments will include the addition of Goal 8: Health, increase active transportation opportunities i.e. infill sidewalks, paths, etc. To facilitate the ease of use between the plans; the Comprehensive Plan and Development Code will refer to the TSP so in the future only one document has to be updated. She also noted the change to decrease block length.

Councilor Voruz commented decreasing block length, increases intersections and expressed concern for public safety issues.

Councilor Weatherby inquired why change the block length. An ODOT Representative from the audience replied it will be consistent with the State model code for small communities and Metro. Senior Planner Palmer added it would only apply to new subdivision developments.

CA Young commented about freight route restrictions and considering restrictions for 223rd. Would need to determine who is responsible for the plan, but if added to the plan could give the community flexibility to look at it when there is future development. Mr. Dolata remarked the city does not

designate freight routes. A Multnomah County representative in the audience commented the County designates restrictions on their roads i.e. 242nd and 238th.

Mayor Tosterud proposed revising and splitting projects for Marine Drive and 223rd Avenue, short-term and long-term improvements, to get something done sooner.

Mayor Tosterud noted the community feedback to have a better connection between downtown Fairview and Marine Drive.

Commissioner Kudrna remarked on the importance of getting all projects in the plan and prioritized so we can react when funding is available.

Mr. Dolata indicated the next step is for Planning Commission to review the TSP, Comprehensive Plan and Development Code amendments, with the requested revisions, in a public hearing. Then there will be a public hearing with City Council for final consideration and adoption.

2. UPDATE RE: FAIRVIEW POLICE DEPT/MULTNOMAH COUNTY SHERIFF OFFICE CONSOLIDATION

Chief Smith shared that between January and August, Fairview was able to have 2 patrol officers on shift an average of 36.9% and the increased call level is between 3:00PM and 1:00AM. The call level at Fairview Oaks/Woods is 6% to 9% of the calls. He noted they do spend more time at the calls because generally they are more complicated calls. He reviewed data over a one year period.

Council discussed the 2 District and 1 District/F-shift/CRO (1 District) options. The Mayor indicated the 2 District option looks like it will exceed the budget, but the 1 District looks to be within budget. Councilor Voruz commented getting the service that meets our needs at the best value is the priority. The Sheriff's recommendation is the 1 District option. She would agree based on information so far. The Community Resource Officer (CRO) is a dedicated person who is proactive in the community, can work on special assignments and community issues, and can support day patrol shifts if needed.

Councilor Kreamier commented having a more proactive presence, the CRO, may decrease the need for reactive responses. Councilor Weatherby agreed.

Councilor Voruz remarked the committee needs direction from Council as to which direction they would like to focus on.

Mayor Tosterud commented Fairview has the budget for the 1 District option and the County is getting close to meeting what we can do.

Councilor Voruz remarked Council will need to address adding a sergeant and adjusting salaries to comparable rates if we don't move forward with MCSO.

Councilor Arnold requested information on what the standard is for other smaller cities. What other avenues have they pursued to mitigate the liability of not having supervision, a sergeant, available 24/7. CA Young reiterated currently Fairview has a sergeant on-duty or on-call 24/7 to meet the supervision requirement; this is just not the ideal, best practice, option.

Councilor Cooper requested information on what value the community received when the sixteenth officer was hired. Did public safety improve? Did it benefit the citizens? CA Young replied that is difficult to measure and there are many variables to look at i.e. officer safety.

Councilor Voruz reiterated the committee needs Council to identify a model and then they can begin to have the number conversations.

Councilor's Cooper, Kreamier and Weatherby supported the 1 District /F-Shift/CRO model. The direction from Council is to pursue the 1 District model.

CA Young commented once Council approves the model the committee will start negotiations with the personnel unions and forming the agreements. Mayor Tosterud noted public forums will also be scheduled.

3. CODE COMPLIANCE PENALTY PROVISIONS

City Attorney Martin reviewed the proposed language and penalty for Class 1 civil infractions. She noted the FMC identifies violations as a Class 1 civil 1 infraction in the Development Code but does not specific provisions for a penalty. She inquired if Council wants to adopt language to set a Class 1 penalty with the actual fine dependent on factors already listed in the FMC.

Councilor Kreamier asked if the fine would be per day of the violation or per the violation and how the actual fine is determined. City Attorney Martin replied the fine would be per violation and the Municipal Judge would determine the actual fine amount. CA Young remarked potential fines will be disclosed early in the process to the person(s) involved.

Council supported adding language to provide a civil fine for Class 1 infractions. They requested item C.2. (The financial condition of person or entity...) in the existing language be deleted. During discussion Council agreed that financial condition should not be a factor in determining a fine; that the fine for similar infractions should be the same for everyone.

4. EDAC RECOMMENDATION RE: CITY BRANDING

Director Berry shared EDAC's recommendation to focus on city branding after the Halsey Corridor study is completed. Insights from the project may influence how the city focuses its' branding efforts.

Councilor Arnold remarked city branding has been discussed for 3 years. A little over a year ago Council tasked EDAC with the project and there is still no progress. She noted who the city is as a whole is different than a corridor. Moving forward with a city brand shouldn't be delayed or dependent on the Halsey Corridor project.

Mayor Tosterud shared that naming the Halsey Corridor project is a high priority for the committee. They understand the name needs to be catchy and sell the area. There may be an advantageous link between the corridor project name/identity and city brand.

CA Young proposed staff talk with the corridor project consultants to identify when the timing might be good to include branding with the corridor project. The branding project will not wait till the project corridor project is complete, but identify an opportunity when they can blend.

5. UPDATE STATUS & PRIORITIES OF GOAL OBJECTIVES & TASK LIST

CA Young remarked there is a 5 year Capital Improvement Plan (CIP) for each of the utilities. He provided a copy of the stormwater schedule. He noted the Utility Rate Committee will utilize the CIP schedule to assist in tying the plan to the rate structure.

CA Young commented on Village parking. He proposed finding out from those in the area what their needs are. He provided a draft survey that would be available via a Survey Monkey subscription that the city purchased for the Two City Recreation Plan Survey. This survey would be at no additional cost.

The survey would focus on Village Street, Market Drive and Park Lane. He requested Council share their feedback regarding the survey and possible solutions over the next week.

COUNCIL MEETING (8:15 PM)

1. CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

2. CONSENT AGENDA

a. Minutes of October 19, 2016

Councilor Arnold moved to approve the consent agenda and Council President Prom seconded. The motion passed unanimously.

AYES: 7

NOES: 0

ABSTAINED: 0

3. PRESENTATION

a. Fairview Lake Home Owners RE: Blue Lake Corporate Park

Mr. Hunter Blanco, Fairview, OR, spoke as a representative for Fairview Lake homeowners concerned about the construction of a warehouse in Gresham, 40 to 50 feet tall that will cover most of the farm area across the road from the Fairview Lake homes. They learned about the potential development on August 25 and attended a neighborhood meeting with the developer on October 21. Mr. Hunter remarked the development will increase Gresham's tax base, while decreasing the property values and tax base in Fairview. The residents requested Council's assistance in sharing their concerns and affecting change. The items they requested assistance with included the following.

- Review and change the zoning because of environmental issues (noise, air and light pollution), stormwater and drainage concerns, impacts to wildlife, area is in a flood plain, and Native American history concerns.
- Step down zone from industrial to residential
- Noise ordinance during the day
- Traffic issues – emergency lane designed for Interlachen
- Require a maximum rate traffic study, not a minimum rate
- Complete study for wetland impact

Mayor Tosterud thanked Mr. Blanco for coming and sharing the resident's concerns. He requested Public Works gather information regarding the flood plain, potential impact to the recertification of the dyke, traffic impacts to Fairview Lake Way and commercial transportation routes. CA Young replied staff will gather information from Gresham and check with Metro regarding Native American historical concerns.

CA Young shared the proposed development will have to go through Gresham's land use process, which includes going to Planning Commission. Staff will identify the process and timing and ensure we participate at the proper time. He notes a zoning change would be difficult when there is already a proposed development pending. Staff will look at, and for opportunities, to mitigate resident concerns.

Bob Dolphin, Fairview, OR, spoke about the buffer between a residential and general industrial development. Gresham development standards require a 30 foot buffer. He interpreted that to mean 30 feet from the property line within the city. There is 30 foot buffer on the Fairview side that residents have maintained and enhanced over the years. The 30 foot buffer on the Fairview side satisfies Gresham's requirement so Gresham is not requiring the developer to build a buffer on the other side

of the property line (on the Gresham side). They have also learned the proposal is to build the warehouse within 10 feet of the property line. He reiterated Mr. Blanco's request for assistance and remarked comments from elected city officials will have more impact than from residents that don't live within city.

George Lingelbach, Fairview, OR, proposed dredging Fairview Lake and pumping the silt over to create a 16 foot berm. He will work with the Multnomah County Drainage District to determine if it is a viable option. If so, he requested Councils support for creating a 16 foot berm in lieu of the proposed 8 foot berm.

David Winterholler, Fairview, OR, supported building the berm beyond 8 feet. The berm needs to exceed 8 feet to protect the Fairview Lake/Interlachen community from noise. He encouraged Council to support the residents in working with the developer to agree upon and approve increasing the berm to 16 feet.

Mayor Tosterud requested Council's discussion continue to the November 2 Work Session or a special session if needed. CA Young remarked staff will gather information to respond to the questions asked and will identify the process with Gresham to ensure we are able to engage in the process at the right time.

4. PUBLIC HEARING

a. Amend the Fairview Municipal Code Concerning Private Property Impound Rates: Ordinance 9-2016
City Recorder Leymaster read the second reading of the ordinance by title. Mayor Tosterud opened the public hearing. There was no public comment. Mayor Tosterud closed the public hearing.

Council President Prom moved to approve Ordinance 9-2016 and Councilor Cooper seconded. The motion passed unanimously.

AYES: 7
NOES: 0
ABSTAINED: 0

5. COUNCIL BUSINESS

a. Adopt Maximum Tow and Tow Related Services Rates for Private Property Impounds:
Resolution 47-2016

City Attorney Martin noted the proposed language is similar to Gresham's, sets maximum rates for allowable services, and includes language to prevent tacking on additional fees.

Council President Prom moved to approve Resolution 47-2016 and Councilor Cooper seconded. The motion passed unanimously.

AYES: 7
NOES: 0
ABSTAINED: 0

6. ADJOURNMENT

Councilor Kreamier moved to adjourn the meeting and Councilor Cooper seconded. The motion passed, and the meeting adjourned at 9:00 PM.

AYES: 7
NOES: 0
ABSTAINED: 0

Devree Leymaster
City Recorder

Ted Tosterud
Mayor

Date of Signing

A complete recording and/or video of these proceedings is available.
Contact the City of Fairview City Recorder Office, 1300 NE Village St., Fairview, OR 97024, (503) 674-6224.

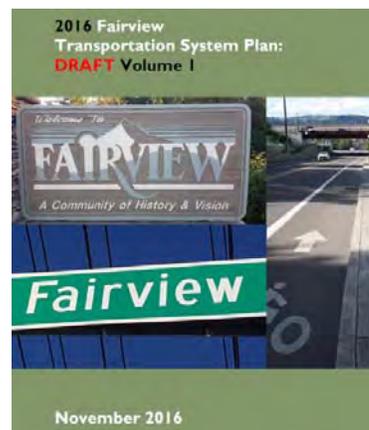
FAIRVIEW TRANSPORTATION SYSTEM PLAN

City Council & Planning Commission
Joint Work Session #2
November 2, 2016

DKS

Agenda Items

- Review Work Session #1
- TSP Report Overview
- Revisions to Standards
- Development Code & Comp Plan Amendments
- Next Steps



DKS

WORK SESSION #1

DKS

Summary from July 20th, 2016

- TSP Purpose
- Development Process
- Analysis Findings / Needs
- Funding Summary
- Solutions & Prioritization

DKS

Why Adopt a TSP now?

- Long range direction for development of transportation facilities and services
- Ensures the planned systems are adequate to meet the needs of planned land uses
- Demonstrates project need and readiness (grant pursuit)
- 1999 TSP does not reflect 15+ years of changes, Metro RTP updates, RTFP requirements, EMCP, etc.
- Emphasis shift to multi-modal planning, equity, sustainability, health (HEAL community)

DKS

TSP Update Technical Process



DKS

Existing Conditions - Needs Analysis

- Transportation System Inventory
- Active Transportation System (Bike, Ped, Transit)
- Safety Analysis
- Street Network/Connectivity
- Roadway Design / Access Management
- Freight/Mobility Needs
- Traffic Analysis at Study Intersections
- Environmental Justice Areas

DKS

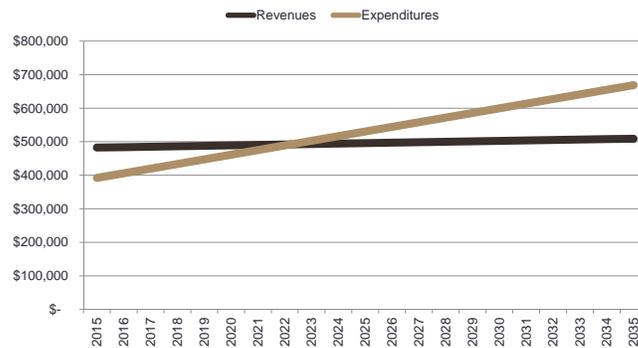
Future Conditions Analysis (2035)

- Based on Metro Land Use Forecasts
 - Very little residential growth
 - +300 households (7% increase)
 - Nearly double existing employment
 - +4,000 jobs (99% increase)
 - Largest growth concentrations are north of I-84 (along Sandy & east of 223rd)

DKS

Funding Summary

- Fairview is reliant on external transportation funding: State and County gas taxes
- No local funding available for TSP projects



DKS

Solutions Prioritization

- Financially Constrained vs. Illustrative
- Financially Constrained solutions from:
 - ODOT STIP
 - RTP Projects on FC list
 - Low-cost programs
- Illustrative solutions prioritized (high/med/low) based on evaluation results and public input.

DKS

TSP REPORT OVERVIEW

DKS

Context

- State, Regional, Local plan updates since 2000
- 2035 Employment Growth
- Priority shift from minimizing travel time to:
 - Safety
 - Multi-modal connections
 - Mobility for freight

DKS

Process

- Policy Review
- Technical Analysis / Needs Identification
- Solutions Development
- Prioritization
- Public Involvement



Community Engagement

DKS

Process - Public Involvement

- Advisory Committee Meetings (4 CAC & 3 TAC)
- Open Houses (3)
 - March – TSP Open House #1
 - August - National Night Out
 - September – NeighborFair
- City Website (including Virtual Open Houses)
- PC/CC Work Sessions (2)
- Public Adoption Hearings (2)

DKS

Vision

- Build on previous TSP Goals and Policies
- Add Health as 8th Goal
- Define Objectives
- Update Policies



Pedestrian Crossing on NE 223rd Avenue

DKS

Needs

- Safety
- Road Design
- Mobility
- Connectivity
- Transit
- Pedestrian
- Bicycle
- Freight
- Mode Share

DKS

Investments

- No new revenue sources assumed
- Projection for 2035 does not identify available local money for TSP improvements
- City is reliant on grants or other external sources to fund projects
- Potential new funding sources:
 - Transportation Utility Fee
 - Transportation/Street System Development Charge
 - Local Gas Tax
 - Local Improvement District

DKS

Investments - Solutions

- Define Bicycle, Pedestrian, and Roadway system to serve needs through 2035
- FC solutions defined by Metro and ODOT
- Local solutions require external funding
- Priorities identified based on TSP evaluation and community input

DKS

Investments - Prioritization

- Short-term (10 years)
 - FC: Reasonably-likely to be funded
- Medium-term (11-20 years)
 - FC: Reasonably-likely to be funded
- Long-term (beyond 2035)
 - Illustrative: High/Medium/Low
 - May be constructed sooner with funding
 - RTP project list update upcoming

DKS

FC Multimodal Roadway Projects

- Arata Rd Reconstruction (223rd to 238th) – ODOT STIP
- 201st & 223rd Ave Reconstruction/Improvements
 - Halsey to Marine Drive and at rail crossing
- Sandy Blvd Reconstruction/Improvements
 - RTP from 201st to 230th , ODOT STIP from 230th to 238th
- Glisan St Multi-Modal Improvement
 - 201st and Fairview Pkwy
- Marine Drive Reconstruction
 - Interlochen to Troutdale

DKS

FC Low-Cost Strategies

- Access Management on Sandy & Halsey
- Sidewalk Infill Programs
 - Old Town Fairview (Neighborhood)
 - Residential (City-wide)

DKS

Standards

- Roadway Cross-Sections
- Access Spacing
- Connectivity
- Mobility (Traffic Delay)
- Defined by:
 - Roadway Jurisdiction
 - Functional Classification
 - Freight route designations (I-84, Marine Dr, Fairview, Pkwy, Sandy Blvd, Glisan St, 223rd Ave)

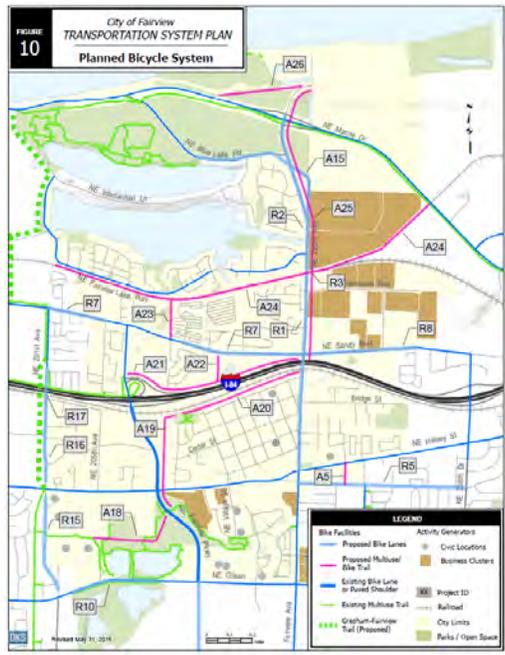


Figure 3: Cross-Section Standard for Local Residential Street

DKS

Outcomes

- Consistency with partner agencies
- Clarity to support development
- Expand Active Transportation Network
- Improve Safety
- Grant-friendly



Volume 2

- Technical Appendix
 - Full project list, evaluation results, costs
 - Meeting summaries
 - Technical Memoranda & Appendices

DKS

REVISIONS TO STANDARDS

DKS

Roadway Functional Class

- Arata Road revised to Neighborhood Collector for consistency with Wood Village



Roadway Standard Cross-Sections

- Remove conflicting standards for Multnomah County roadways
- Neighborhood Collector
 - Bike lanes from 5' to 6'
 - Paved width (w/parking) from 32' to 34'
 - Landscape strip widened from 3.5' to 5'
- Local Street
 - Minor changes for consistency & clarity

DKS

Connectivity

- Reduce maximum block length in residential districts from 600 to 530 feet, for consistency with Metro RTFP.
- Identify maximum distance of 330 feet for multi-use pathways constructed in lieu of street connections, for consistency with Metro RTFP.
- Add notification requirement for future connections on dead-end stub streets.

DKS

Mobility

- City of Fairview designates Level-of-Service (LOS) "D" as the minimum performance standard
- Revise City mobility standards to be consistent with Multnomah County in allowing LOS E or F in special circumstances, if approved by the Public Works Director.

DKS

DEVELOPMENT CODE & COMP PLAN AMENDMENTS

DKS

Comprehensive Plan Amendments

- Minor modifications to existing goals and objectives that support the community vision.
- Addition of 8th goal: Health.
- A list of objectives which describe approaches and actions too achieve each goal are listed under each.
- Minor additions and revisions were identified by the Community Advisory Committee, consultant team, and project management team

DKS

Development Code Amendments

- Minor modifications to the code to reflect Regional Transportation Functional Plan requirements
- Minor updates were made for consistency and to implement the updated TSP
- Added definitions, recommended minor changes to: bicycle parking; transit supportive design, and street system design.

DKS

NEXT STEPS

DKS

Reviewing TSP's Keys to Success

- Address community needs
- Support adopted plans
- Reasonable funding strategy
- Metro RTFP compliance

DKS

Next Steps

- Revise/finalize TSP
- Revise/finalize Adoption Ordinances
- Planning Commission Adoption – 11/22
- City Council Adoption – 12/7
- Recommend RTP projects – early 2017

DKS

Questions?

DKS

ADDITIONAL INFO

DKS

Roadway Needs Summary

- 223rd, Arata, Sandy, Glisan are not built to standards or plans
- Railroad crossings with substandard facilities
- Crash rates on Sandy and Halsey exceed statewide average for similar facilities
- Sandy and Halsey access spacing not to standard
- Limited access on some neighborhoods streets (e.g., cul-de-sacs)
- EMCP identifies regional & corridor operations needs on Fairview Pkwy/Glisan/223rd

DKS

Active Transportation Needs Summary

- Limited connectivity north of Sandy (all modes)
- Pedestrian fatality near Arata/Wood Village Blvd
- Bicycle facilities: 223rd, Sandy, Blue Lake Rd, 201st
- Sidewalks & Crossings on 223rd, Sandy
- Neighborhoods without sidewalks (e.g., Old Town Fairview)
- Mode share forecasts indicate targets will not be met in industrial areas north of I-84 and east of NE 223rd

DKS



AGENDA STAFF REPORT

MEETING DATE	AGENDA ITEM #	REFERENCE NUMBER
November 16, 2016	2.b.	15-2016

TO: Mayor and City Council
FROM: Allan Berry P.E., Public Works Director
THRU: Nolan K. Young, City Administrator
DATE: November 2, 2016

ISSUE:

Adopt the Consolidated Stormwater Masterplan Update 2016

RELATED COUNCIL GOALS:

Goal #4: Maintain and enhance the City's public infrastructure in a cost efficient manner.

BACKGROUND: The Consolidated Stormwater Master Plan (Plan) Update (2016) meets the needs of the storm water utility as we plan for both future capital improvement projects and rate setting. This plan update includes project and program recommendations, prioritization and implementation, project fact sheets and a cost estimates summary will provide the City with a useful capital plan and asset management plan for implementing current and future capital projects and reviewing stormwater rates.

RECOMMENDED ACTION:

Adopt the Consolidated Stormwater Master Plan Update (2016).

ALTERNATIVE ACTIONS:

- Do not adopt the 2016 Consolidated Stormwater Plan
- Defer adoption to a later meeting to allow for additional research on areas of concern or where questions remain unanswered.

BUDGET IMPLICATIONS:

The plan contains the CIP projects planned to be undertaken by the City. All these projects would need budgetary authority and therefore the basic adoption of the plan does not have direct budget implication.

COUNCIL ALTERNATIVES:

1. **Staff Recommendation:** Adopt the Consolidated Stormwater Master Plan Update (2016).
2. Defer adoption to a later meeting to allow for additional research on areas of concern or where questions remain unanswered.

NEXT STEPS:

Research and report on XPSWMM. The XPSWMM is fully dynamic hydraulic and hydrologic modeling software that combines calculations for upstream and downstream flow with overland flow calculations so

we can see what truly happens within our stormwater system. We will assess its use and feasibility including regional partnerships and in-house capability and will then run the XPSWMM model to verify the CIP project assumptions in the masterplan and implement projects using a revised prioritization obtained from the modeling activities.

Exhibits: Consolidated Stormwater Masterplan Update (2016)

Consolidated Stormwater Master Plan Update

Prepared for
City of Fairview, Oregon
August 9, 2016



EXPIRES: 06/30/2018



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Portland, OR 97239
Phone: 503.244.7005
Fax: 503.244.9095

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List of Abbreviations

BC	Brown and Caldwell
CIP	capital improvement program
City	City of Fairview
County	Multnomah County
CP	capital project
CSMP	Consolidated Stormwater Master Plan
DEQ	(Oregon) Department of Environmental Quality
ft	foot/feet
FV	Fairview Creek Subbasin (projects)
GN	general/programmatic (projects)
GW	groundwater (projects)
ID	identifier
LF	linear foot/feet
MS4	municipal separate storm sewer system
NN	No Name Creek Subbasin (projects)
NPDES	National Pollutant Discharge Elimination System
OS	Osborn Creek Subbasin (projects)
RT	Raintree Creek Subbasin (projects)
TMDL	total maximum daily load
TN	total nitrogen
TP	total phosphorus
TSS	total suspended solids
UIC	underground injection control
UPRR	Union Pacific Railroad

Foreword

This document is an update to the City of Fairview's (City) 2007 Consolidated Stormwater Master Plan (CSMP) (BC 2007). This update documents the stormwater capital projects (CPs) completed since 2007 and outlines the project priorities for the next 5 to 10 years. This CSMP update includes refinement of select existing and unconstructed CPs and the addition of new CPs per City objectives. Additional analysis has been included to add asset management elements, specifically routine system inspections and replacement of aging infrastructure, to the City's stormwater program planning. Updated costs and project prioritization and scheduling are also included.

This CSMP update should be used in conjunction with the 2007 CSMP, which includes detailed information regarding project background, hydrologic and hydraulic modeling, and initial CP development.

Section 1

Introduction

The City of Fairview, Oregon, includes 3.1 square miles of urbanized area situated around Fairview Lake in northeast Multnomah County. The area includes many historical developments as well as recent developments and regional recreational areas. As a heavily urbanized area, the City of Fairview (City) must manage stormwater runoff to protect public safety and maintain water quality. This Consolidated Stormwater Master Plan (CSMP) update provides an opportunity for the City to improve public safety, water quality, and aesthetic benefits while addressing storm drain capacity in several flood-prone areas.

The City has a combination of aging infrastructure from earlier developments as well as new pipe systems and stormwater management ponds that have been installed with recent developments. Stormwater runoff from the city is managed through a municipal separate storm sewer system (MS4) that discharges to the natural drainage systems of Fairview Creek, Osborne Creek, No Name Creek, and Fairview Lake. The city is experiencing increasing development activity, both within city limits and upstream in areas of Wood Village and Gresham. Stormwater master planning provides one mechanism through which to anticipate and address infrastructure needs in conjunction with development and expansion. This CSMP update includes prioritized stormwater capital projects (CPs) that, along with the City's ongoing stormwater program, which includes development standards and operational maintenance, will serve as tools to proactively address stormwater management.

1.1 Objectives and Approach

The City's stormwater program has previously been guided by a 2007 CSMP (BC 2007) that prioritized 21 stormwater-related CPs. Over the last 10 years, the City's stormwater program has successfully implemented projects from the 2007 CSMP. The City needs an updated stormwater project priority list to guide stormwater program priorities over the next planning period.

The objectives of this CSMP update are:

- Review current stormwater-related problem areas and completed projects
- Update the stormwater CPs list to reflect current and projected needs
- Update cost estimates based on 2016 construction prices and refined project descriptions
- Prioritize projects to outline an implementation plan for the next 5 to 10 years

The result is an updated capital improvement program (CIP) that should guide City staff in implementing stormwater-related projects to address City watershed goals. The project cost estimates should inform development of the City's stormwater utility and fee rate structure and can be used to seek additional funding sources, such as grants and loans, where appropriate.

1.2 Approach

The development of this CSMP update is based extensively on the work completed to develop the 2007 CSMP. No additional data collection or modeling was performed. Brown and Caldwell (BC) conducted a thorough review of the 2007 CSMP as well as the related documents outlined in Section 1.4.

Based on existing information, a project review workshop was conducted with City staff to identify current and projected problem areas and review the projects from the 2007 CSMP. Based on the outcome from that workshop (see Section 2.1), a project summary matrix was developed to guide the development of the updated CPs list. Limited field investigations were performed to verify proposed projects and visually investigate design alternatives. Following the field investigations, detailed project fact sheets were developed for each proposed CP, along with updated cost estimates.

Similar to the 2007 CSMP, project priorities were established based on pre-selected prioritization criteria, as described in Section 3.

1.3 Recommendations

This CSMP update prioritizes 14 CPs and 2 asset management initiatives to support successful implementation of the City's stormwater program. Figure 1-1 shows the locations of proposed CPs. Asset management and general/programmatic CPs are conducted on a citywide basis and not depicted geographically on the map.

The CPs in this CSMP update include replacement projects to maintain existing infrastructure, capacity improvements and storage projects to address flooding along Fairview Creek and No Name Creek, and stormwater facility retrofits and green street installations to improve water quality treatment. Private property planting projects from the 2007 CSMP have been removed from the CSMP update, so that the current CPs list is focused on projects that can be completed on public property.

Most projects prioritized in this CSMP update were included in the 2007 CSMP, though some projects have been modified or redefined to address new or multiple objectives. New projects have been added to incorporate asset management elements into the City's stormwater program. Such elements include ongoing system inspections, updated hydraulic modeling, and replacements of aging infrastructure.

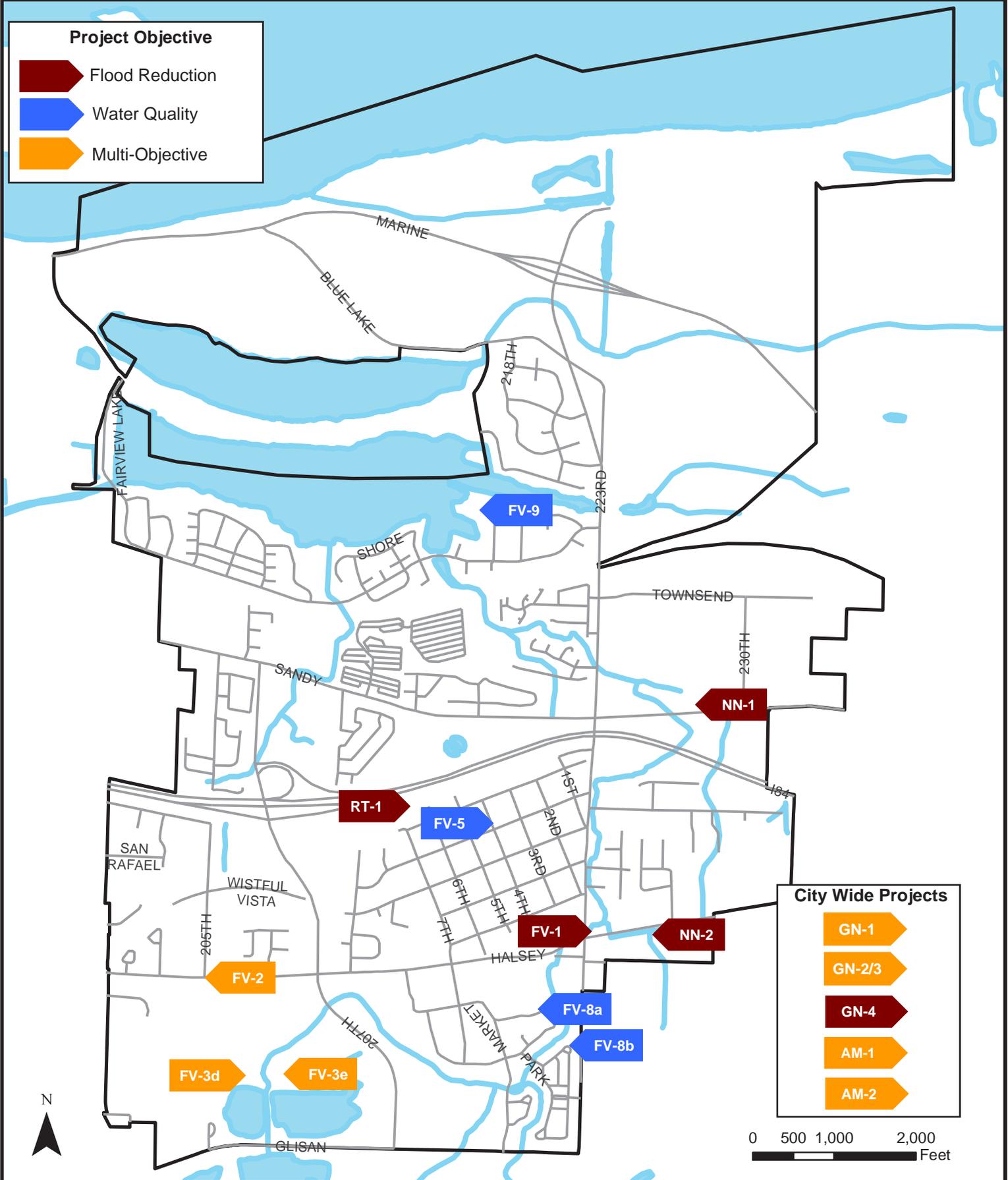
1.4 Related Reports

The CP and capital improvement program (CIP) recommendations in this CSMP update form the framework for the City's stormwater management program. However, the City is under additional regulatory obligations that influence program priorities and decision making. Namely, the City is operating under a National Pollutant Discharge Elimination System (NPDES) Municipal Separate Storm Sewer (MS4) permit issued by the Oregon Department of Environmental Quality (DEQ) and is subject to total maximum daily load (TMDL) wasteload allocations issued by DEQ through the Willamette Basin TMDL (2006) and the Columbia Slough TMDL (1998).

Obligations related to the NPDES MS4 Phase I Permit are outlined in the City's Stormwater Management Plan (2011). As part of the NPDES MS4 permit compliance activities, the City has developed a stormwater quality retrofit strategy (BC 2014b) and a hydromodification assessment (Cardno 2014). The stormwater retrofit strategy points to the need for a CSMP update to refine project needs and clarify preliminary designs and costs. The hydromodification assessment does not identify specific project recommendations. Rather, the study points to the use of low-impact development approaches for development and redevelopment and use of flow duration matching for flow control design as strategies to prevent further hydromodification in the city's stream channels. The project recommendations in this CSMP update are consistent with the recommendations in the retrofit strategy and hydromodification assessment.

Project Objective

-  Flood Reduction
-  Water Quality
-  Multi-Objective



City Wide Projects

-  GN-1
-  GN-2/3
-  GN-4
-  AM-1
-  AM-2

**CITY OF FAIRVIEW
CSMP UPDATE**

Figure 1-1

Capital Project Overview



Obligations related to TMDL compliance are outlined in the City's TMDL Implementation Plan (BC 2014a). Management strategies related to instream temperature control are highlighted and include riparian planting and revegetation, the enforcement of riparian buffers, and promotion of infiltration through stormwater design standards. The TMDL Implementation Plan also references the CSMP update as one method of implementation (BC 2014a). Although this CSMP update omits planting projects on private property because of the limited ability of the City to obtain authorization and manage activities on private property, select CPs continue to include a planting and vegetation element to address objectives of the TMDL Implementation Plan.



Section 2

Project and Program Recommendations

The primary objective of stormwater master plan development is to establish a current list of stormwater-related projects and activities that can be prioritized for implementation. The resulting project list should reflect current and projected needs and address known flooding and water quality problem areas.

As a result of the CP and program evaluation conducted for the City of Fairview, this CSMP update includes 14 stormwater CPs and 2 asset management initiatives to support successful implementation of the City's stormwater program. The projects address flow control, flood storage, water quality, maintenance, and asset management objectives. On occasion, a single project meets multiple objectives.

Projects have been developed or redefined based on comprehensive evaluation of past work, including the 2007 CSMP and other related reports and studies. The project team also conducted limited site visits to visually verify proposed projects and evaluate potential design alternatives. No additional hydrologic or hydraulic modeling or detailed field data collection was performed to support development of the proposed CPs.

Section 3 provides implementation guidance related to prioritization and scheduling of the projects over the next 5 to 10 years.

2.1 2007 CSMP Project Review

The 2007 CSMP included an extensive evaluation of stormwater-related problem areas based on City staff knowledge, past complaints, and hydraulic modeling to evaluate the capacity of the existing stormwater infrastructure. The hydraulic capacity analysis evaluated both existing flow conditions and the future "buildout" scenario assuming that all contributing drainage basins were developed to full density as allowed under the current zoning. The resulting list of stormwater CPs considered long-term development scenarios in identifying project needs.

One objective of this (2016) CSMP update was to use staff knowledge to evaluate the projects from the 2007 CSMP with respect to flooding incidents over the last 10 years. In particular, project needs were compared to the level of flooding experienced during the December 6–8, 2015, storm events, which regional rain gauge records and flood reports identified as roughly equivalent to a 10-year storm event. City staff also considered nuisance flooding problems—areas that frequently have low-level drainage challenges that may impact roads, parking lots, or private property.

A project review workshop was held on February 16, 2016. BC facilitated the workshop and attendees included City staff from the engineering and maintenance groups. In preparing for the workshop, City staff completed a survey of known stormwater problem areas and project needs. BC conducted an extensive review of the 2007 CSMP project list and prepared maps to document project locations and status. BC also reviewed existing documents, such as the City's stormwater retrofit strategy and the TMDL Implementation Plan (described in Section 1.4), to identify additional project commitments.

During the workshop, each project from the 2007 CSMP was reviewed with respect to known flooding problems, water quality treatment opportunities, and operational needs. Completed projects were verified with City staff and removed from further consideration for this CSMP update. Immediate and long-term continued project needs were identified from the 2007 CSMP project list. Some projects from the 2007 CSMP were merged into more comprehensive solutions and others were divided into phases or smaller projects. One additional project area was also identified. The result from the workshop was a preliminary list of projects for use in developing the 2016 CSMP update.

Table 2-1 below is a project summary showing the status of each project and recommendations from the project review workshop.

Figure 2-1 shows project locations and status for projects from the 2007 CSMP and this 2016 CSMP update.



Table 2-1. Project Summary Matrix from Project Review Workshop

2007 CSMP ID	Project name	Project type	2007 project description summary	Water quality elements and benefits	Ownership	2016 evaluation	Recommendation(s)
GN-1	Closed-Circuit Television Inspection	Multi-objective	Video inspection of all pipes known to be older than 25 years (12,000 LF) and pipes with unknown age (1,100 LF).		Public (City)	<ul style="list-style-type: none"> Video inspection is still needed. Older pipes are the priority, but all City systems would benefit from a visual inspection. Cleaning should be conducted in conjunction with inspection. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as GN-1 with revised project cost to include pipe cleaning. Include an ongoing inspection program as AM-2.
GN-2	Pipe, Manhole, and Catch Basin Rehabilitation	Multi-objective	Programmatic CP to replace metal pipe and aging concrete or plastic pipe at rate of 150 LF per year.		Public (City)	<ul style="list-style-type: none"> This work is still needed. The 2007 CSMP recommended a 15-year program to replace 2,300 LF of aging metal pipe and pipe of unknown age. Implementation of an annual program (150 LF of pipe per year) is too small for effective project implementation. Project should be converted to an individual CP, not an ongoing program. Consider merging GN-2 and GN-3 to create a single infrastructure replacement project. Consider separate asset management project for ongoing replacement of aging infrastructure after high-needs areas are addressed. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as merged GN-2/3 with revised project cost. Include an ongoing replacement program as AM-1.
GN-3	Catch Basin Retrofit Program	Water quality	Programmatic CP to replace existing self-cleaning catch basins with sumped catch basins.	Adding sumps to 48 un-sumped catch basins to collect sediment and other pollutants upstream in the system.	Public (City)	<ul style="list-style-type: none"> Project was included in the 2014 Stormwater Retrofit Strategy and Plan. Project should be converted to an individual CP, not an ongoing program. Consider merging GN-2 and GN-3 to create a single infrastructure replacement project. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as merged GN-2/3 with revised project cost.
GW-1	Drywell Registration	Water quality	Drywell registration and evaluation for retrofit needs.		Public (City)	<ul style="list-style-type: none"> Project is complete. Drywells have been registered and no additional retrofits were identified. 	<ul style="list-style-type: none"> Delete from CSMP project list.
GW-2	Drywell Pretreatment	Water quality	Adding pretreatment at three drywells.	Adding drywell pretreatment—sumped catch basins, spill control structures, and swales—supports reductions in TSS and nutrients (TP and TN).	Public (City)	<ul style="list-style-type: none"> Drywell retrofit projects were completed from 2009 to 2011. Sediment manholes were installed upstream of two drywells in Broadway Court and one drywell at 205th. 	<ul style="list-style-type: none"> Delete from CSMP project list.
FV-1	Fairview Creek between Halsey Street and I-84	Flood reduction	High-flow bypass pipe (48") along 223rd/Fairview Road to reduce flows in Fairview Creek between Halsey and Bridge Street.		Public (City)	<ul style="list-style-type: none"> Bypass was the preferred alternative out of four considered with the 2007 CSMP. Upstream detention was not shown to provide significant relief for downstream flooding. Design should consider impacts from potential bypass of water from No Name Creek to Fairview Creek. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as FV-1 with revised project cost. Add hydraulic modeling project to evaluate design flows for multiple project solutions as GN-4.
FV-2	Flooding on Halsey Street by Fieldstone Apartments	Multi-objective	Remove existing pipes through berms in the two detention ponds on the south side of the apartments to limit overflow from Fairview Creek to the property. Create a weir on southwest pond to increase flood storage. Conduct infiltration test of downstream UIC. (Future phase not budgeted: remove pipe and create weir on northeast pond to increase flood storage.)		Public (City and County)	<ul style="list-style-type: none"> 2007 CSMP project was focused on flooding and conveyance solutions for private-property areas adjacent to existing wetland. Shift project focus to flooding of public roadway system. Infiltration swale on NE Halsey Street provided initial relief to roadway flooding, but the swales are not draining well and do not have overflow options. Coordination with Multnomah County is needed because Halsey is a County road. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as FV-2 with revised project scope and cost.
FV-3a	South of Halsey Street/West of 207th: North of Salish Ponds	Planting	Riparian planting on City property near Salish ponds adjacent to Fairview Creek: approximately 0.8 acre.	0.8-acre riparian planting would increase shading for temperature reduction.	Public (City)	<ul style="list-style-type: none"> Planting project as described in 2007 CSMP is complete. 	<ul style="list-style-type: none"> Delete from CSMP project list.
FV-3b	South of Halsey Street/West of 207th: Riparian Vegetation	Planting	Riparian planting on City property near 207th adjacent to Fairview Creek: approximately 0.6 acres	600 LF of riparian buffer (40 ft wide each side of creek) would increase shading for temperature reduction.	Public (City)	<ul style="list-style-type: none"> Planting project as described in 2007 CSMP is complete. 	<ul style="list-style-type: none"> Delete from CSMP project list.
FV-3c	South of Halsey St/West of 207th: Riparian Vegetation	Planting	Riparian planting on private property north of Salish Ponds; adjacent to Fairview Creek – approximately 1.0 acres	520 LF of riparian buffer (40 ft wide each side of creek)	Private	<ul style="list-style-type: none"> Planting project on private property should be referred to non-profit or other community group. 	<ul style="list-style-type: none"> Delete from CSMP project list.
FV-3d	South of Halsey St/West of 207th: Floodplain Banking	Multi-objective	Grading and wetland planting on City property north of the West Salish Pond to provide additional off-channel floodplain storage to address flooding problems downstream in Fairview Creek.	3 acres of floodplain storage and planting on City property could support reductions in nutrients (TP and TN), bacteria, and TSS.	Public (City)	<ul style="list-style-type: none"> Project was included in the 2014 Stormwater Retrofit Strategy and Plan. The addition of storage provides minor flow reduction for Fairview Creek. Greater benefit may be achieved as a water quality treatment retrofit. Opportunities to enhance public access as a wetland park. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as FV-3d with revised project cost.
FV-3e	South of Halsey St/West of 207th: Floodplain Banking	Multi-objective	Grading and wetland planting on private property north of the East Salish Pond to provide additional off-channel floodplain storage to address flooding problems downstream in Fairview Creek.	5 acres of floodplain storage and planting on private property could support reductions in nutrients (TP and TN), bacteria, and TSS.	Private	<ul style="list-style-type: none"> Project is similar to FV-3d, but on privately owned land. Project would not move forward without the transfer of property to public ownership. Project was included in the 2014 Stormwater Retrofit Strategy and Plan. The addition of storage provides minor flow reduction for Fairview Creek. Greater benefit may be achieved as a water quality treatment retrofit. Opportunities to enhance public access as a wetland park. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as FV-3e with revised project cost.



Table 2-1. Project Summary Matrix from Project Review Workshop

CSMP ID	Project name	Project type	2007 project description summary	Water quality elements and benefits	Ownership	2016 evaluation	Recommendation(s)
FV-5	Old Town Green Streets Opportunities	Water Quality	Construct swales, stormwater planters, and other green streets elements in conjunction with re-paving and sidewalk projects.	Adding bioretention sites in untreated areas would support reductions in nutrients (TP and TN), bacteria, and TSS. Adding infiltration for stormwater may help address the temperature TMDL.	Public (City)	<ul style="list-style-type: none"> City has completed 5 phases of work to date to add stormwater planters and rain gardens to Old Town Fairview in conjunction with sidewalk projects. Projects are typically implemented every two years. There is an ongoing need to for continued retrofit. Project was included in the 2014 Stormwater Retrofit Strategy and Plan. 	<ul style="list-style-type: none"> Include in 2016 CSMF update as FV-5 with revised project scope and cost.
FV-6a	Heron Point Restoration:	Planting	Large riparian planting at Heron Point, adjacent to Fairview Creek - approximately 4.4 acres	4.4 acres riparian planting along 2400 LF of Fairview Creek and Tributary would increase shading for temperature reduction.	Private	<ul style="list-style-type: none"> Planting project as described in 2007 CSMF is complete. 	<ul style="list-style-type: none"> Delete from CSMF project list.
FV-6b	Heron Point Restoration: 3 ac WQ Facility	Water Quality	Grading of 3 acre site to create off-channel, high-flow wetland for treatment and storage could support reductions in nutrients (TP and TN), TSS and bacteria (if designed to minimize waterflow use).	3 acre floodplain storage and creation of forested wetland for treatment and storage could support reductions in nutrients (TP and TN), TSS and bacteria	Private	<ul style="list-style-type: none"> Associated planting (FV-6a) has been completed. There is not a significant need for additional flood storage in close proximity to Fairview Lake. Project was included in the 2014 Stormwater Retrofit Strategy and Plan. Private property ownership makes implementation a challenge. 	<ul style="list-style-type: none"> Delete from CSMF project list.
FV-7	McDonald Brothers Restoration	Water Quality	Riparian planting on private property that does not have street access – approximately 0.5 acres	0.5 acres riparian planting along 250 LF of Fairview Creek would increase shading for temperature reduction.	Private	<ul style="list-style-type: none"> Private property has been slated for different development purpose. Planting opportunity is no longer available. 	<ul style="list-style-type: none"> Delete from CSMF project list.
FV-8	Fairview Village Detention Ponds	Water Quality	Retrofit of existing Market Drive Detention Pond with rock weirs to create meandering swale with longer residence time for water quality treatment. Planting of Multnomah Pond - approximately 0.2 acres	Potential to add/enhance WQ treatment to support reductions in nutrients (TP and TN), bacteria, and TSS.	Public (City)	<ul style="list-style-type: none"> Three ponds should be considered: Chinook, Market, Multnomah. 2007 budget assumed pond maintenance with limited design and no modeling or analysis. Existing ponds provide opportunity to enhance water quality treatment and/or flow control through more significant pond retrofit that considers amended soils, perforated pipes, and possibly reconstruction of control structures. Three existing ponds should be considered separately. Project was included in the 2014 Stormwater Retrofit Strategy and Plan. 	<ul style="list-style-type: none"> Include in 2016 CSMF update as new FV-8a and FV-8b with new project scope and costs.
NN-1a	Undersized Culvert at Sandy Blvd	Flood Reduction	Alternative A: Replace existing pair of 30" CPMs with single 48" culvert to alleviate flooding of Sandy Blvd.		Public (City and County)	<ul style="list-style-type: none"> Culvert replacement project was intended to occur as part of widening of NE Sandy Boulevard, which has not occurred. This culvert showed minor flooding (several hours) during December 2015 storm event. This is not a significant flooding issue, though downstream properties continue to experience flooding. Project design should consider opportunities for upstream flow control in the No Name Creek basin, as well as joint basin solutions with FV-1 and NN-2. 	<ul style="list-style-type: none"> Remove this alternative from 2016 CSMF update and replace with new project NN-1 per NN-1b description.
NN-1b	Undersized Culvert at Sandy Blvd Bypass	Flood Reduction	Alternative B: Construct diversion on south side of Sandy Blvd (upstream) to divert flow from No Name Creek to Fairview Creek.		Public (City and County)	<ul style="list-style-type: none"> 2007 analysis showed that this diversion would not free up enough capacity at NE Sandy Boulevard to eliminate need to replace the existing culverts (NN-1a). However, the December 2015 storm event showed that peak flows may not be at the level identified in the 2007 analysis. This bypass option may be a viable solution to address flooding of property downstream of NE Sandy Boulevard. 	<ul style="list-style-type: none"> Include in 2016 CSMF update as NN-1. Add hydraulic modeling project to evaluate design flows for multiple project solutions as GN-4.
NN-2	Flooding of Church Street from No Name Creek	Planting	Riparian planting on private property - approximately 0.8 acres. Private property flooding (Ukrainian Church) also identified but not addressed in the scope of the project.	Shading for instream temperature control.	Private and Public (City)	<ul style="list-style-type: none"> Limited planting was completed as part of redevelopment of the church parking lot. Ongoing flooding concerns remain along NE Halsey Street during peak flow events. 	<ul style="list-style-type: none"> Include in 2016 CSMF update as NN-2 with revised project scope and cost. Add hydraulic modeling to evaluate multiple project solutions as GN-4.
NN-3	Revegetation behind Fairview Oaks Apartments	Planting	Riparian planting on private property – approximately 0.3 acres	0.3 acres riparian planting along 600 LF of No Name Creek would increase shading for temperature reduction.	Private	<ul style="list-style-type: none"> Planting project on private property should be referred to non-profit or other community group. 	<ul style="list-style-type: none"> Delete from CSMF project list.



Table 2-1. Project Summary Matrix from Project Review Workshop

2007 CSMP ID	Project name	Project type	2007 project description summary	Water quality elements and benefits	Ownership	2016 evaluation	Recommendation(s)
RT-1	Raintree Creek Culvert under Railroad	Flood Rreduction	Negotiate access easement and install trash rack to reduce culvert clogging.		UPRR	<ul style="list-style-type: none"> Trash rack was not installed as part of Park Cleone project (RT-2a and RT-2b). Project is still needed. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as RT-1 with new project costs.
RT-2a	Park Cleone Detention Pond Retrofit: Pond and Swale	Water quality	Retrofit of Park Cleone detention facility for water quality treatment.	Adding water quality elements to Park Cleone detention facility would support reductions in nutrients (TP and TN), bacteria, and TSS.	Public	<ul style="list-style-type: none"> Project was completed in 2014. 	<ul style="list-style-type: none"> Delete from CSMP project list.
RT-2b	Park Cleone Creek Daylight	Water quality	Replace 200 LF pipe upstream of Park Cleone detention facility with swale and planting.	Replace 200 LF pipe with vegetated swale would support reductions in nutrients (TP and TN), bacteria, and TSS.	Public (City)	<ul style="list-style-type: none"> Project was completed in 2014. 	<ul style="list-style-type: none"> Delete from CSMP project list.
RT-3	7th Street: from Main North to Railroad Ditch	Flood reduction	New storm sewer pipe on 7th Street.		Public (City)	<ul style="list-style-type: none"> Project was completed in 2014. 	<ul style="list-style-type: none"> Include in 2016 CSMP update as part of FV-5.
RT-4	Pipe Replacement at 6th and Harrison	Flood reduction	Pipe replacement concurrent with street repairs.		Public (City)	<ul style="list-style-type: none"> Project was completed in 2009-10. 	<ul style="list-style-type: none"> Delete from CSMP project list.
FV-4	Salish Ponds and Wetlands	Water quality Flood reduction	Shoreline restoration; created public access locations; install pet waste stations.	Shoreline restoration, designated public access locations, and adding pet waste stations should reduce TSS and bacteria.	Public (City)	<ul style="list-style-type: none"> Project was completed in 2012. 	<ul style="list-style-type: none"> Delete from CSMP project list.
OS-1	Thompson Street Stormwater Improvements	Flood reduction	Address localized flooding at Thompson and 205th.		Public (City)	<ul style="list-style-type: none"> Project was completed in 2009-10. 	<ul style="list-style-type: none"> Delete from CSMP project list.

FV = Fairview Creek projects.

GN = general/programmatic projects.

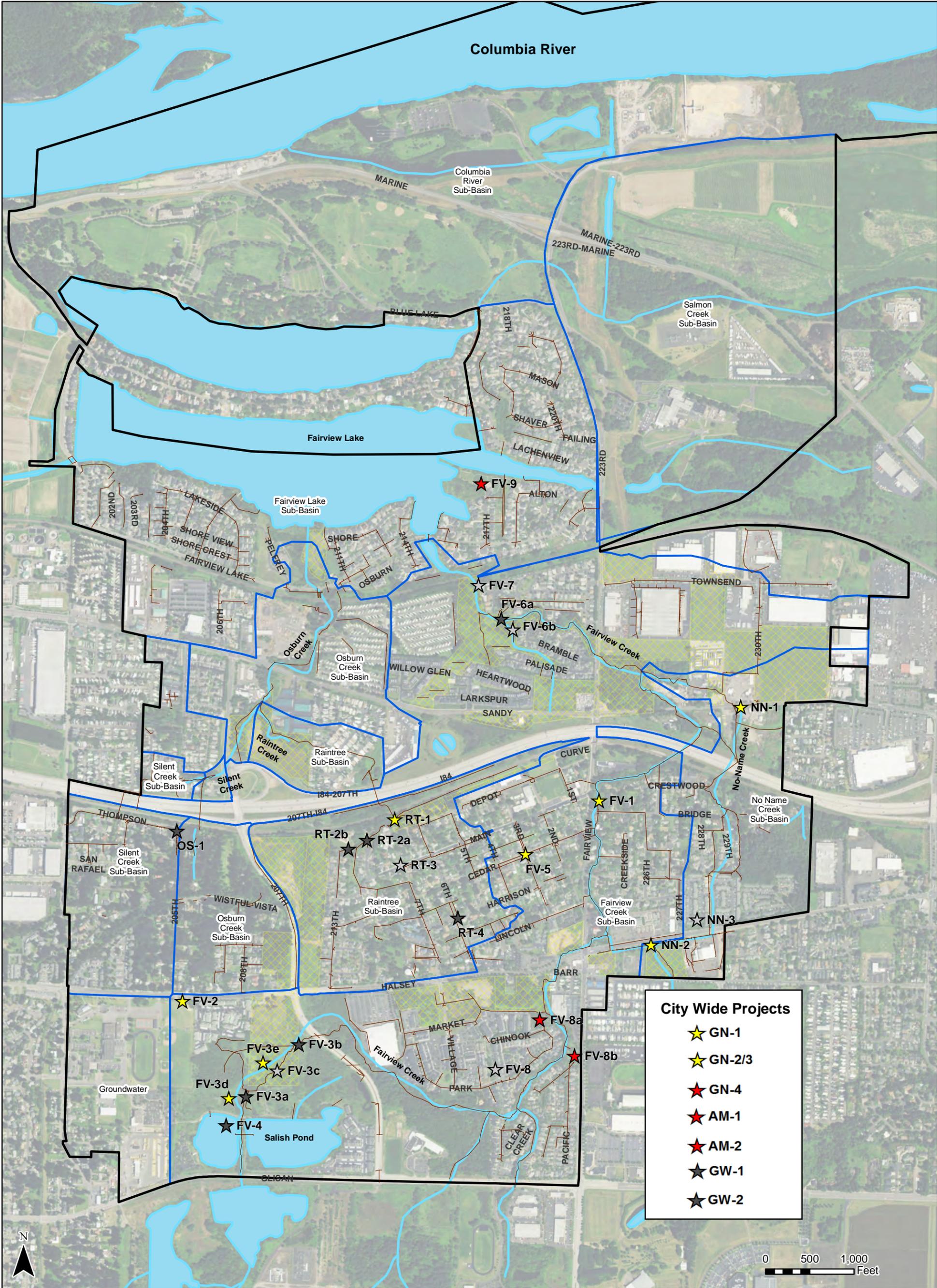
GW = groundwater projects.

NN = No Name Creek projects.

OS = Osborn Creek Sub-basin projects.

RT = Raintree Sub-basin projects.

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CITY OF FAIRVIEW
CSMP UPDATE
Figure 2-1
CSMP PROJECT STATUS

JUNE 2016

Legend

- CITY LIMITS
- SUBBASINS
- VACANT LAND
- STREAMS AND WATER BODIES
- STORMWATER PIPES (2007)
- 2007 CIP PROJECTS (COMPLETED)
- 2007 CIP PROJECTS (NOT NEEDED)
- 2007 CIP PROJECTS (MODIFIED)
- 2007 CIP PROJECTS (NEW)

2.2 2016 Project Identification

For this CSMP update, concept-level CPs were developed and/or redefined based on the outcome from the project review workshop and review of existing technical reports and documents. Limited field investigations were performed to verify proposed projects and visually investigate design alternatives. For consistency, the project identification abbreviations and numbers were retained from the 2007 CSMP.

The field investigation, which was conducted on March 24, 2016, focused on evaluating project areas with proposed project modifications from the 2007 CSMP. This included projects FV-2, FV-8, NN-1, and NN-2. As a result of the investigations, project FV-8 was divided into two separate projects (FV-8a and FV-8b) to reflect retrofit of two existing stormwater ponds to improve water quality treatment and flow control. Projects where the scope remained the same from the 2007 CSMP were generally not reviewed during the field investigations. Instead, the original project descriptions and elements were carried forward from the 2007 CSMP.

No additional hydrologic or hydraulic modeling was performed for this 2016 CSMP update. However, the 2007 XPSWMM model was reviewed to evaluate pipe elevations, sizes, and peak flow assumptions. The model information was used to validate proposed project concepts, particularly with respect to FV-1, NN-1, and NN-2. The model review revealed a level of complexity and connectivity with these three projects, resulting in the recommendation to establish a new CP (GN-4) specifically to conduct the hydraulic modeling needed to support FV-1, NN-1, and NN-2.

One new project area was identified during the project review workshop. The City is planning a project to install bank stabilization and vegetation at Lakeshore City Park, along the banks of Fairview Lake. Bank stabilization will help to reduce sediment contributions to Fairview Lake, and planting could increase shade for temperature reduction. As a result, project FV-9 was added to this CSMP CP list.

The 14 stormwater CP recommendations are summarized in Table 2-2. Project fact sheets with location maps, background information, and project descriptions are included in Appendix A.

Table 2-2. 2016 Stormwater Capital Projects

Project ID	Project name	Project objectives	Project description
GN-1	Closed-Circuit Television Inspection	<ul style="list-style-type: none"> Flood reduction/maintenance Asset management/maintenance 	Video inspection and cleaning of aging infrastructure areas.
GN-2/3	Targeted Infrastructure Upgrades	<ul style="list-style-type: none"> Flood reduction Water quality Asset management/maintenance 	Replacement of metal pipe, deteriorated pipe, and self-cleaning catch basins.
GN-4	System Hydraulic Modeling	<ul style="list-style-type: none"> Flood reduction 	Hydraulic modeling to evaluate connectivity and define solutions for FV-1, NN-1, and NN-2.
FV-1	Fairview Creek High-Flow Bypass	<ul style="list-style-type: none"> Flood reduction 	High-flow bypass along NE 223rd to reduce flows in Fairview Creek between NE Halsey Street and Bridge Street.
FV-2	Halsey Street Swale Retrofit	<ul style="list-style-type: none"> Flood reduction Water quality 	Retrofit of existing swales on NE Halsey Street.
FV-3d	Fairview Creek Off-Channel Storage	<ul style="list-style-type: none"> Flood reduction Water quality 	Grading and wetland planting to provide off-channel floodplain storage.

Table 2-2. 2016 Stormwater Capital Projects

Project ID	Project name	Project objectives	Project description
FV-3e	Fairview Creek Off-Channel Storage, Future	<ul style="list-style-type: none"> Flood reduction Water quality 	Grading and wetland planting to provide off-channel floodplain storage.
FV-5	Old Town Green Streets Opportunities	<ul style="list-style-type: none"> Water quality 	Constructing green street elements in Old Town neighborhoods.
FV-8a	Chinook Pond Retrofit	<ul style="list-style-type: none"> Water quality 	Pond retrofit and reconstruction to maximize storage and water quality treatment.
FV-8b	Multnomah Pond Retrofit	<ul style="list-style-type: none"> Water quality 	Pond retrofit and reconstruction to maximize storage and water quality treatment.
FV-9	Fairview Lake Bank Stabilization	<ul style="list-style-type: none"> Water quality 	Bank stabilization measures and planting to address erosion of bank at Lakeshore City Park.
NN-1	No-Name Creek Flow Bypass	<ul style="list-style-type: none"> Flood reduction 	Flow diversion at NE Sandy Boulevard to divert high flows from No Name Creek to Fairview Creek.
NN-2	No-Name Creek Capacity Improvement	<ul style="list-style-type: none"> Flood reduction 	Modification of flow split between No Name Creek and Fairview Creek at NE Halsey Street.
RT-1	Raintree Creek Culvert Debris Barrier	<ul style="list-style-type: none"> Flood reduction/maintenance 	Install trash rack at culvert under railroad to reduce clogging and allow for debris removal at railroad culvert.

2.3 Asset Management Initiatives

Asset management initiatives are new stormwater program recommendations related to ongoing infrastructure maintenance as well as asset management. The following two asset management initiatives are included in the CSMP recommendations:

- AM-1 Stormwater Infrastructure Asset Replacement:** Establish a long-term program to set aside funds to replace aging stormwater infrastructure. While high-priority replacements are included in project GN-2/3, this would be an ongoing program to establish funds for future and ongoing replacements as additional areas of the city reach the end of infrastructure stability.
- AM-2 Stormwater Infrastructure Inspection and Cleaning:** Establish an ongoing schedule to conduct video inspections and cleaning of all publicly owned stormwater pipes. As of 2016, the City has documented approximately 70,000 linear feet (LF) of public stormwater pipe. Regular inspection of existing infrastructure will allow the City to prioritize maintenance areas and to identify deteriorated infrastructure that needs replacement (as part of AM-1).

These initiatives are intended to be funded on an annual basis in accordance with assumptions and descriptions outlined in the project fact sheets in Appendix A. Because of the ongoing nature of these initiatives, they are not reflected in the prioritization and implementation schedule in Section 3.

2.4 Cost Estimates

Planning-level cost estimates were developed for each of the proposed CPs and asset management initiatives.

Unit costs for structural elements were compiled from a variety of sources. These included recent stormwater master plans for the cities of Milwaukie, Newberg, Fairview, and Gladstone along with bid tabulations from local construction projects in Gresham and Portland. Dates on these projects ranged from 2007 to 2016 and thus were adjusted to 2016 costs using the RS Means Historical

Cost Index. Once the data were compiled and adjusted to reflect 2016 costs, a comparison was made and best engineering judgment was used to determine final unit costs. In cases where conflicting data existed, especially for structure installation, the RS Means construction cost data were used to provide an additional point of reference.

For each project, standard cost percentages were added to the structural elements for mobilization/demobilization, traffic control/utility relocation, and erosion control. A 30 percent construction contingency was added to the construction subtotal to establish the total capital expense. Each project was then assigned costs for engineering and permitting (15 to 35 percent) to cover additional investigations and design fees and construction and general administration (5 percent) to cover construction management and internal project implementation.

Appendix B includes a table of unit costs and standard planning-level costs percentages. Appendix B also includes the detailed cost estimates for each CP and asset management initiative presented in Sections 2.3 and 2.4.

Section 3

Prioritization and Implementation

The City will use this CSMP update to proactively address stormwater management with prioritized stormwater CPs and asset management initiatives. These CPs and initiatives provide an opportunity for the City to improve public safety, water quality, and aesthetic benefits, while addressing storm drain capacity in several flood-prone areas.

With these goals in mind, the CPs have been prioritized and scheduled for implementation using a collaborative process between City maintenance and engineering staff. It should be noted that specific implementation timelines are dependent on the City's budget and other funding mechanisms as described in Section 3.2.

As described in Section 2.3, the asset management initiatives are intended to be funded on an annual basis and thus are not reflected with an individual project priority ranking and scheduling. Additionally, CP FV-5 is also an annual budget item to be implemented in conjunction with other transportation projects and not included in the project prioritization and scheduling.

3.1 Prioritization Criteria

The prioritization criteria used for this CSMP update are modified from the criteria used in 2007, as the City has a greater understanding of community priorities as well as regulatory obligations. The prioritization criteria are also based on criteria established for the 2014 Stormwater Retrofit Strategy and Plan and other input from the City.

Seven criteria in total were defined to aid in the project prioritization. Because many projects are consistent with the 2007 CSMP and are already incorporated into the City's current stormwater budget, detailed project scoring and accompanying ranking was not conducted for this CSMP update. Instead, an overall project prioritization and schedule was developed by City engineering and maintenance staff. Staff collectively reviewed the updated (redefined) or new project descriptions in conjunction with the defined prioritization criteria. Project priority was discussed in conjunction with the project rating definitions for each prioritization criterion described in Table 3-1. Higher-priority projects tended toward the higher-priority project ratings for multiple criteria. Lower-priority projects tended toward the lower-priority project ratings for multiple criteria. Criterion and project rating definitions were established to ensure consistency among staff when participating.

Cost was not included as a specific prioritization criterion, but was considered in the context of establishing an implementation schedule (see Section 3.2). Table 3-1 lists the prioritization criteria and provides the project rating definition. The results from the evaluation and proposed project priority are shown in Table 3-2.

Table 3-1. Capital Project Rating Criteria

Prioritization criterion	Criterion importance	Project rating definition	
		Higher priority	Lower priority
1 Safety/liability	High	<ul style="list-style-type: none"> Project alleviates a potential safety hazard Project minimizes liability issues associated with system flooding 	<ul style="list-style-type: none"> No safety or liability issues associated with project
2 Concurrence	High	<ul style="list-style-type: none"> Project is a prerequisite or preliminary project for other CPs 	<ul style="list-style-type: none"> Project scheduling would not impact or be impacted by other stormwater or infrastructure projects
3 Environmental benefit	High	<ul style="list-style-type: none"> Project significantly improves water quality and wildlife habitat 	<ul style="list-style-type: none"> Project does not provide water quality or wildlife benefit
4 Ownership	High	<ul style="list-style-type: none"> Project is located entirely on public property and does not require coordination from other agencies/jurisdictions 	<ul style="list-style-type: none"> Project requires support, assistance, or funds from other agencies/jurisdictions
5 Long-term maintenance	Medium	<ul style="list-style-type: none"> Project will reduce or eliminate ongoing maintenance needs 	<ul style="list-style-type: none"> Project could increase City's maintenance activities
6 Complexity	Medium	<ul style="list-style-type: none"> Project may be completed by a small crew in less than a month's time 	<ul style="list-style-type: none"> Project requires significant design effort, stakeholder coordination, complex construction, and/or permitting
7 Sustainability/Livability	Medium	<ul style="list-style-type: none"> Project is a long-term solution that will be sustained for multiple generations 	<ul style="list-style-type: none"> Project is a short-term solution that may require additional projects down the road

Criterion definitions:

- | | |
|-----------------------------|--|
| 1 Safety/liability | What potential safety and/or liability issues are involved? |
| 2 Concurrence | Will overall project scheduling be impacted by this project? |
| 3 Environmental benefit | Are there direct environmental benefits associated with the projects? |
| 4 Ownership | Is third-party involvement required to implement the project? |
| 5 Long-term maintenance | Will this alleviate or result in additional maintenance obligations? |
| 6 Complexity | How quickly can the solution be implemented and with what level of effort? |
| 7 Sustainability/livability | Will the project improve the quality of life? Is this what our grandchildren would want? |



Table 3-2. Capital Project Evaluation and Prioritization

Project		Project evaluation						Project prioritization (rank 1–13)
		Safety/liability	Concurrence	Environmental benefit	Ownership	Long-term maintenance	Complexity	
GN 1	Closed-Circuit Television Inspection	✓	✓	✓	✓	✓	✓	1
GN 2/3	Targeted Infrastructure Upgrades	✓			✓	✓	✓	4
GN 4	System Hydraulic Modeling	✓	✓		✓	✓	✓	2
FV 1	Fairview Creek High-Flow Bypass	✓			✓	✓		8
FV 2	Halsey Street Swale Retrofit	✓		✓		✓		11
FV 3d	Fairview Creek Off-Channel Storage, Public			✓	✓		✓	9
FV 3e	Fairview Creek Off-Channel Storage, Private			✓			✓	13
FV 8a	Chinook Pond Retrofit			✓	✓		✓	3
FV 8b	Multnomah Pond Retrofit			✓	✓		✓	5
FV 9	Fairview Lake Bank Stabilization			✓	✓		✓	6
NN 1	No Name Creek Flow Bypass	✓				✓		10
NN 2	No Name Creek Capacity Improvement	✓	✓			✓		7
RT 1	Raintree Creek Culvert Debris Barrier			✓		✓		12
FV 5	Old Town Green Street Opportunities (Annual Cost)	Annual cost: not reflected in project prioritization						
AM 1	Stormwater Infrastructure Asset Replacement (Annual Cost)	Annual cost: not reflected in project prioritization						
AM 2	Stormwater Infrastructure Video and Cleaning (Annual Cost)	Annual cost: not reflected in project prioritization						



3.2 Implementation Schedule

The City's implementation schedule is dependent on the stormwater program budget, as well as capital funds available through grants, system development charges, and other sources. The total stormwater CP cost estimate is approximately \$5.9 million. Annual costs associated with the asset management initiatives and CP FV-5 are estimated at \$270,000. Under current funding levels, the City anticipates completing the highest-priority CPs (GN-1 and GN-4) in the upcoming year, as results of these CPs will help to inform future project implementation.

Generally, project scheduling is anticipated to follow the project prioritization, with the exception of FV-1, which is the highest-cost CP currently proposed. Funding for FV-1 may need to be staggered throughout the overall implementation period. The final CP prioritization and scheduling is reflected in Table 3-3.

The City is planning to conduct a rate study to set near-term stormwater utility rates, which will dictate the speed in which the stormwater projects and program activities can be completed.

Table 3-3. Capital Project Scheduling					
Project		Estimated project cost	Project prioritization (rank 1-13)	Project schedule	
				Implementation year 1-5	Implementation year 6+
FV 5	Old Town Green Street Opportunities (Annual Cost)	\$51,000	Annual cost and project	✓	✓
AM 1	Stormwater Infrastructure Asset Replacement (Annual Cost)	\$164,000	Annual cost and project	✓	✓
AM 2	Stormwater Infrastructure Video and Cleaning (Annual Cost)	\$55,000	Annual cost and project	✓	✓
GN 1	Closed-Circuit Television Inspection	\$51,000	1	✓	
GN 4	System Hydraulic Modeling	\$100,000	2	✓	
FV 8a	Chinook Pond Retrofit	\$249,000	3	✓	
GN 2/3	Targeted Infrastructure Upgrades	\$628,000	4	✓	
FV 8b	Multnomah Pond Retrofit	\$120,000	5	✓	
FV 9	Fairview Lake Bank Stabilization	\$52,000	6	✓	
NN 2	No Name Creek Capacity Improvement	\$237,000	7	✓	
FV 1	Fairview Creek High-Flow Bypass	\$1,995,000	8	✓	✓
FV 3d	Fairview Creek Off-Channel Storage, Public	\$766,000	9		✓
NN 1	No Name Creek Flow Bypass	\$525,000	10		✓
FV 2	Halsey Street Swale Retrofit	\$163,000	11		✓
RT 1	Raintree Creek Culvert Debris Barrier	\$83,000	12		✓
FV 3e	Fairview Creek Off-Channel Storage, Private	\$924,000	13		✓
Total Annual Project Cost (FV 5, AM 1, and AM 2):		\$270,000			
Total Capital Project Cost (all others):		\$5,893,000			

Section 4

Limitations

This document was prepared solely for the City of Fairview in accordance with professional standards at the time the services were performed and in accordance with the contract between the City of Fairview and Brown and Caldwell dated April 2, 2015. This document is governed by the specific scope of work authorized by the City of Fairview; it is not intended to be relied upon by any other party except for regulatory authorities contemplated by the scope of work. We have relied on information or instructions provided by the City of Fairview and other parties and, unless otherwise expressly indicated, have made no independent investigation as to the validity, completeness, or accuracy of such information.

Further, Brown and Caldwell makes no warranties, express or implied, with respect to this document, except for those, if any, contained in the agreement pursuant to which the document was prepared. All data, drawings, documents, or information contained in this report have been prepared exclusively for the person or entity to whom it was addressed and may not be relied upon by any other person or entity without the prior written consent of Brown and Caldwell unless otherwise provided by the Agreement pursuant to which these services were provided.

Section 5

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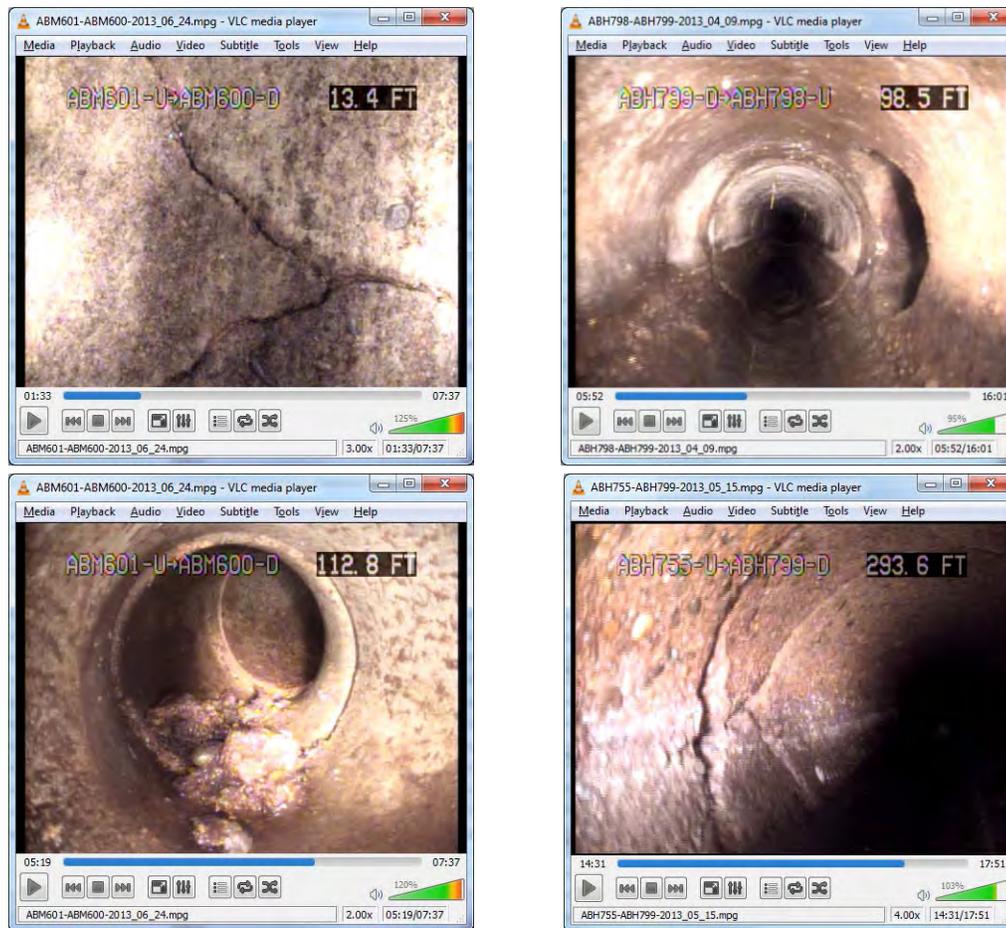
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"RS Means Historical Cost Index". <http://rsmeansonline.com/References/CCI/3-Historical%20Cost%20Indexes/1-Historical%20Cost%20Indexes.PDF>. (Accessed April 12, 2016).

Appendix A: Capital Project Fact Sheets





Project Name	GN-1: CCTV Inspection
Detailed Location	Entire city of Fairview
Ownership	Public (City of Fairview)
Objective(s) Addressed	Flood Reduction, Asset Management

Project Background

This project was originally proposed in the 2007 CSMP, and cost assumptions have been updated to reflect pipe cleaning in addition to video inspection. This project is critical for ongoing asset management.

Project Description

Video inspection and cleaning of all pipes known to be older than 25 years (12,000 LF) and pipes with unknown age (1,100 LF). Locations of aging pipe are documented in the City’s GIS or maintenance logs. Refer to the 2007 CSMP for additional background related to identification of pipes for inspection.

Design Considerations

Video inspection should be used to help identify pipes that are currently failing or reaching the end of useful life. Failing pipes should be identified for replacement under GN-2/3. This effort is intended to occur prior to activities scheduled under AM-2.

Video inspections may also help the City identify sanitary cross connections in conjunction with its illicit discharge detection and elimination system program.

The cost estimate assumes that approximately 40 hours of engineering staff time would be required to review the videos and document results.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$43,000
Engineering and permitting (15%)	\$6,000
Construction administration (5%)	\$2,000
Capital project implementation cost (Total)	\$51,000

Project Name	GN-4: System Hydraulic Modeling
Detailed Location	Fairview Creek and No Name Creek Basins
Ownership/Funding Source	Public (City of Fairview)
Objective(s) Addressed	Flood Reduction

Project Background

CPs FV-1, NN-1, and NN-2 are interconnected, and flows associated with each CP contribute to or are impacted by the other project areas. Designing these CPs requires refinement of the City’s XP-SWMM model to evaluate alternatives for these three connected projects. The results from the updated XP-SWMM hydraulic model will be used to guide the CP designs to convey existing and future contributing flows without having adverse impacts on downstream or neighboring properties.

All three projects are impacted by the flow split between No Name Creek and Fairview Creek that occurs at NE Halsey Street. Upstream flow control and/or adjustments to the flow split (NN-2) are needed to address flooding downstream of NE Halsey Street. In addition, the flows to Fairview Creek from the flow split (NN-2) contribute to the design of the Fairview Creek high-flow bypass (FV-1). Flows that remain in No Name Creek will impact the design of NN-1.

For this CSMP update, the City’s XP-SWMM model was reviewed to confirm projected flows and evaluate design elevations. During the model review, inconsistencies were observed in the modeling of offsite areas that contribute flow to No Name Creek upstream of NE Halsey Street (location of NN-2), and also to No Name Creek upstream of NE Sandy Boulevard (location of NN-1). Inconsistencies were also observed between the model and hydraulic result tables in the CSMP. A comprehensive model update is needed to verify offsite flow contributions and to evaluate design options for the combined projects of FV-1, NN-1, and NN-2.

Project Description

Update the City’s current XP-SWMM model based on information obtained from the following activities:

- Refine subbasin delineations and update hydrologic calculations for areas outside the City limits
- Conduct field investigations to identify locations where offsite flows contribute to the City’s system and areas where offsite flows are diverted or controlled prior to entering the City’s system
- Review and update the model per as-built information for stormwater systems in developments adjacent to the City’s planned capital projects (i.e., Walmart commercial area along SE Sandy Boulevard and NE 238th Drive)
- Conduct a limited field survey to confirm existing system information

The updated XP-SWMM model should then be used to evaluate design alternatives for the combined projects of FV-1, NN-1 and NN-2. Adjustments to the flow split for No Name Creek at NE Halsey Street (NN-2) will dictate the flow patterns in Fairview Creek for FV-1 and No Name Creek for NN-1. The updated modeling would be used to verify the bypass design for FV-1 and to determine whether full or partial bypass of No Name Creek is possible at NE Sandy Boulevard in NN-1.

Modeling results and design recommendations should be documented to support the development of detailed engineering plans for FV-1, NN-1, and NN-2.

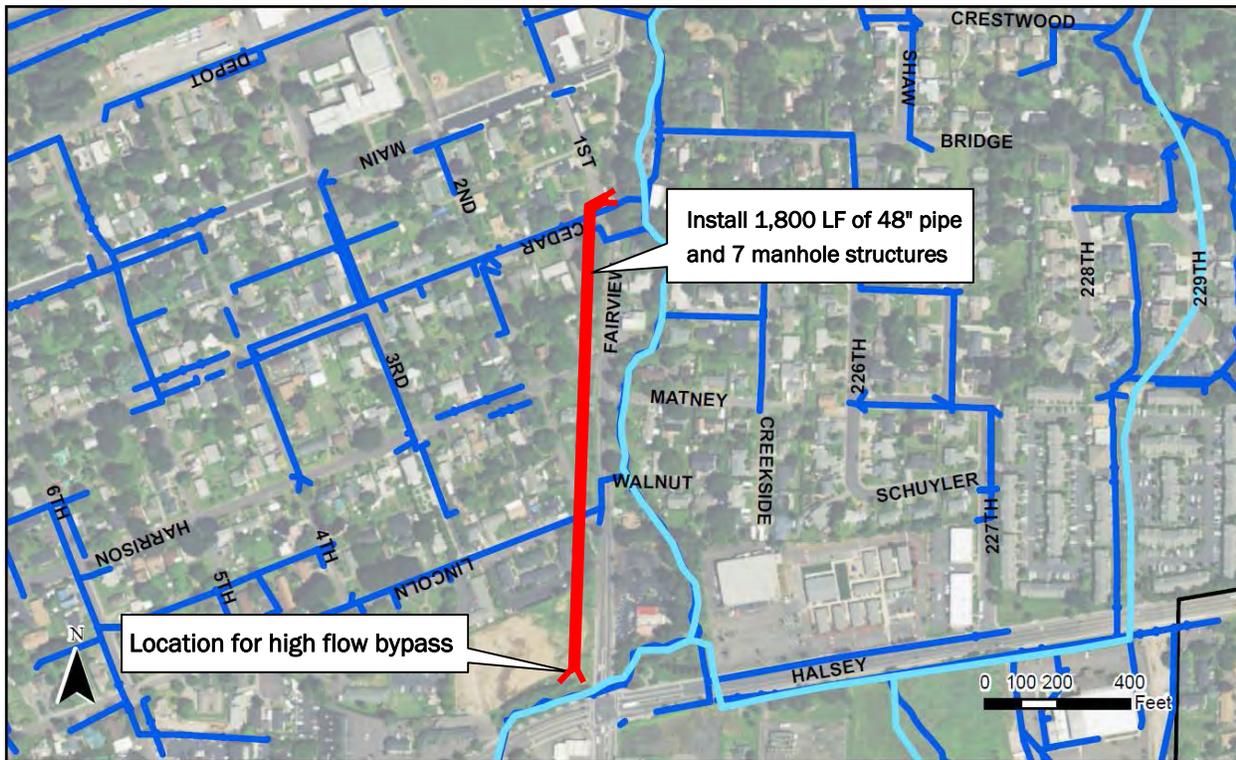
Design Considerations

This project should be completed prior to detailed design of CPs FV-1, NN-1, and NN-2.

A lump sum of \$100,000 was estimated to update the XP-SWMM model, evaluate alternatives, and document model results for use in the detailed design of CPs.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital cost total	N/A
Engineering and permitting (LS)	\$100,000
Construction administration (0%)	N/A
Capital project implementation cost (Total)	\$100,000



Project Name	FV-1: Fairview Creek High Flow Bypass
Detailed Location	NE 223rd/NE Fairview Road south of I-84
Ownership	Public (City of Fairview)
Objective(s) Addressed	Flood Reduction

Project Background

This project was originally proposed in the 2007 CSMP. No changes are proposed to the previously identified project. This segment of Fairview Creek was studied in the *Assessment of Fairview Creek Flow Control Options* developed by CH2M Hill in July 2000. Areas along Fairview Creek between NE Halsey Street and I-84 report localized flooding, which is consistent with FEMA analyses indicating risk of flooding during the 100-year storm. The CH2M Hill report recommended constructing levees to control flow. The 2007 CSMP evaluated four alternatives, which included increasing reach conveyance, constructing upstream detention, providing a high-flow bypass, and constructing levees. The high-flow bypass pipe was selected to mitigate flooding. See the 2007 CSMP for additional project background, including projected flows.

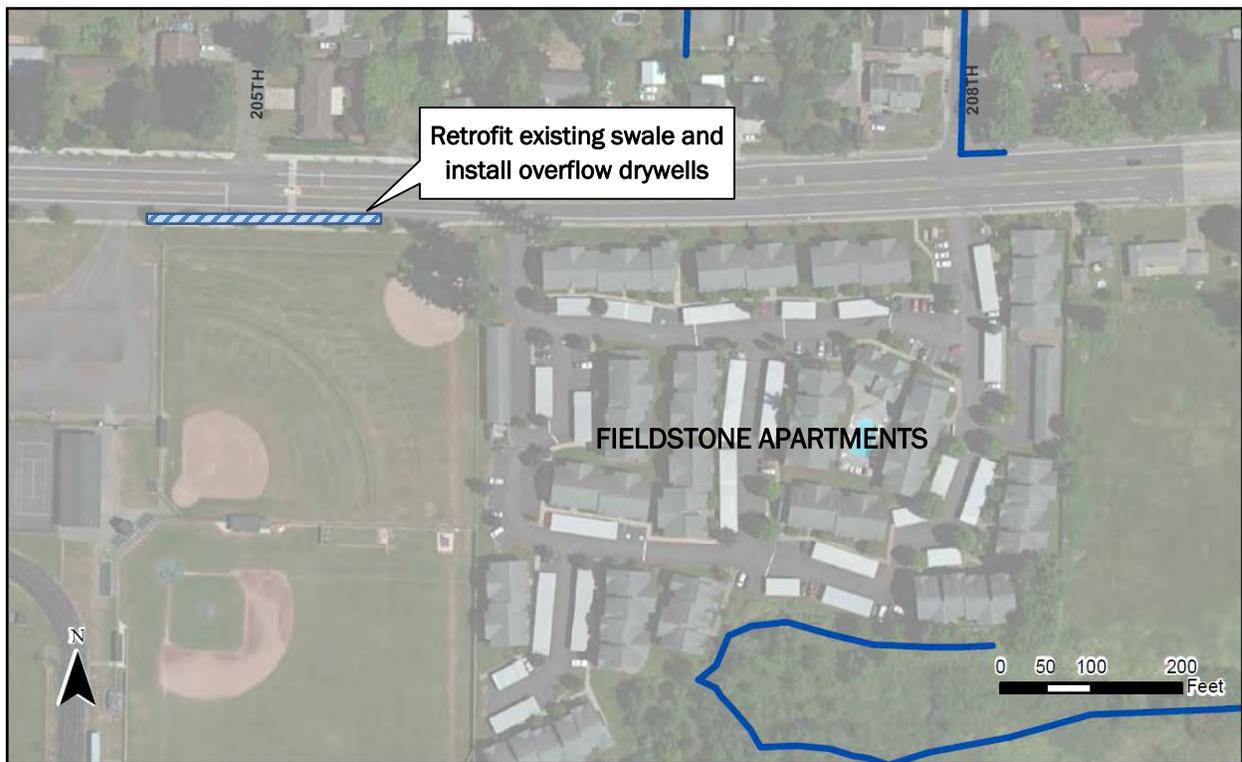
Project Description

Install high-flow bypass pipe (48 inches diameter) along 223rd/Fairview Road to reduce flows in Fairview Creek between NE Halsey Street and Bridge Street. The project assumes a 48-inch-diameter bypass pipe for 1,800 LF with an outfall to return flow to Fairview Creek near Cedar Street.

Design Considerations

The engineering evaluation should use the updated XP-SWMM model developed under GN-4 to evaluate proposed bypass alignment and flow capacity. The detailed engineering evaluation shall determine the appropriate location for the flow diversion. Potential options include the west side of NE 223rd prior to the NE 223rd culvert crossing or on the east side of NE 223rd in Marilyn’s Park. A preliminary cost estimate assumes one manhole at the upstream end of the bypass and one manhole for every 300 feet of pipe.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)	
Capital expense total (including contingency)	\$1,535,000
Engineering and permitting (25%)	\$384,000
Construction administration (5%)	\$77,000
Capital project implementation cost (Total)	\$1,995,000



Project Name	FV-2: Halsey Street Swale Retrofit
Detailed Location	NE Halsey Street and Fairview Parkway
Ownership	Public (City of Fairview and Multnomah County)
Objective(s) Addressed	Flood Reduction, Water Quality

Project Background

This project has been redefined from the 2007 CSMP, which recommended onsite and phased improvements to the Fieldstone Apartment property to manage flows discharged into NE Halsey Street. Private property improvements have presented implementation difficulties.

During larger storm events, stormwater runoff and offsite flow from wetlands south of the property discharge to the north and cause flooding in NE Halsey Street. Installation of infiltration swales along NE Halsey Street west of the Fieldstone Apartment property has alleviated much of the roadway flooding, but the swales reach capacity during small events.

Project Description

Retrofit of two existing swales on the south side of NE Halsey Street, west of the Fieldstone Apartments to increase collection and infiltration capacity and reduce overflows to street and private property. Reconstruction of the existing swales shall include installation of drain rock, amended soils, planting, an underdrain system, and an overflow. The underdrain system and overflow will connect to drywells to promote full infiltration.

Design Considerations

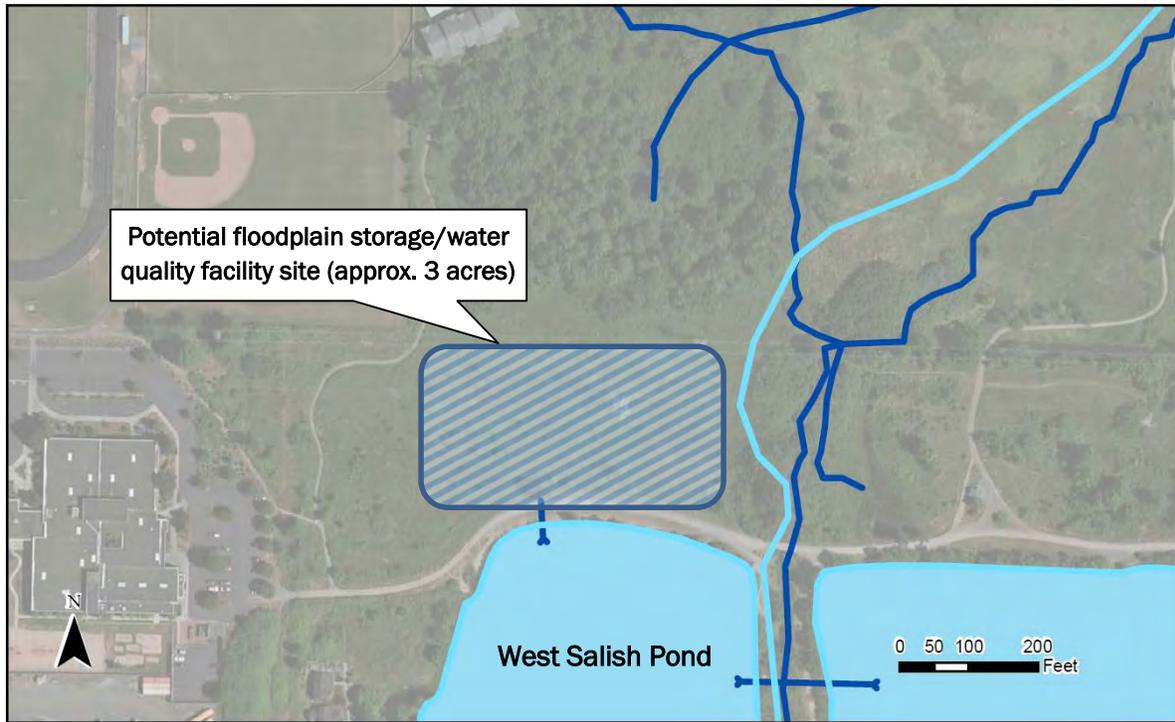
Installation of two overflow drywells requires infiltration testing. The drywells must penetrate below the existing clay layer to reach infiltrating soils.

Design and construction should consider that NE Halsey Street is a County-maintained roadway.

The cost estimate assumes retrofit of two swales, with each swale approximately 150 feet long and 6 feet wide.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$136,000
Engineering and permitting (15%)	\$20,000
Construction administration (5%)	\$7,000
Capital project implementation cost (Total)	\$163,000



Project Name	FV-3d: Fairview Creek Off-Channel Storage
Detailed Location	South of NE Halsey Street/West of 207th
Ownership	Public (City of Fairview)
Objective(s) Addressed	Flood Reduction, Water Quality

Project Background

This project is consistent with the project scope defined in the 2007 CSMP.

This project was originally proposed in the 2007 CSMP as an opportunity to construct floodplain storage on land owned by the City. The project meets multiple objectives and is referenced in the City's *Stormwater Retrofit Strategy and Retrofit Plan*, published in 2014.

Project Description

Regrade 3 acres of City-owned property north of the West Salish Pond to provide additional, off-channel floodplain storage to address flooding problems downstream in Fairview Creek. Enhance water quality treatment by planting native wetland and upland vegetation.

Design Considerations

Design should consider opportunities to incorporate public access in or around the storage area.

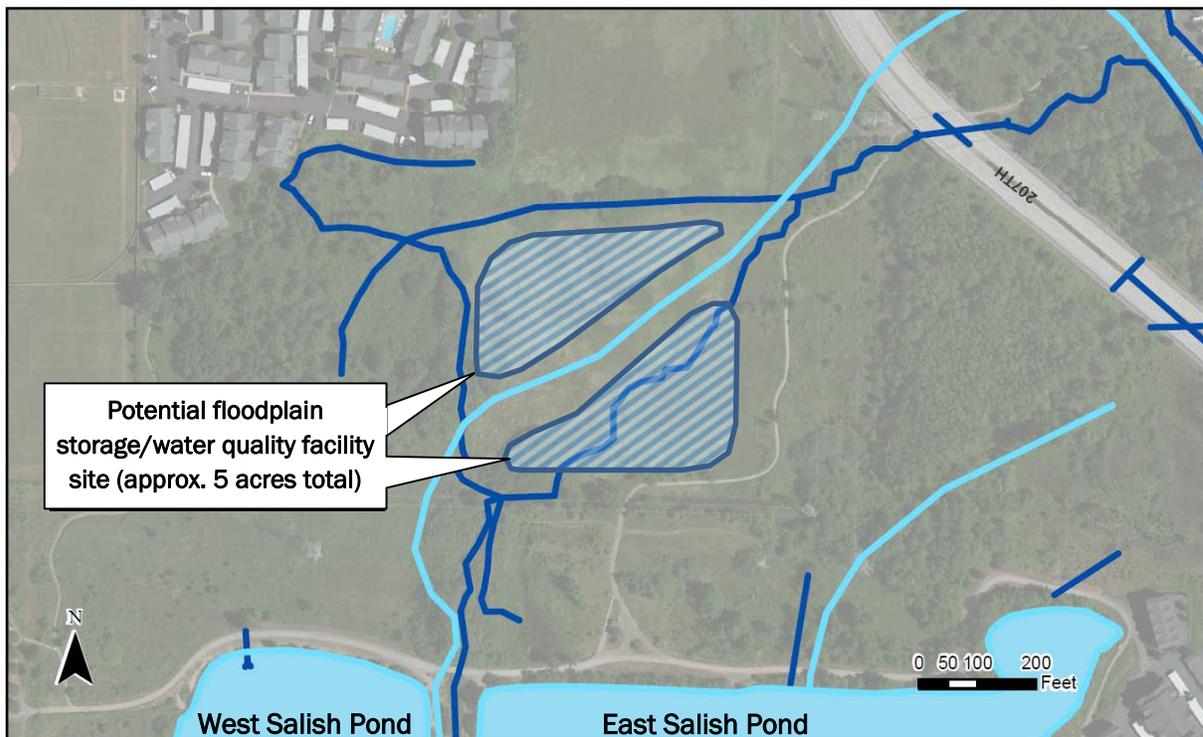
The detailed engineering evaluation should consider impacts to Salish ponds as well as connections to Fairview Creek during different-level storm events.

Earthwork and excavation costs assume regrading the site from an average elevation of 199.0 to 195.7 feet, assuming an average of 2.5 feet of excavation across the 3.0-acre site.

The 2007 CSMP identified that limited downstream flow mitigation (approximately 10 cfs) may be provided from construction of additional floodplain storage. Depending on Fairview's need, the scope of this project may be limited to the planting activities.

A Section 404 wetland permit may be required to regrade existing natural wetland areas. Such effort was accounted for in the cost estimate.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)	
Capital expense total (including contingency)	\$551,000
Engineering and permitting (25%)	\$138,000
Section 404 wetland permit (possible cost)	\$50,000
Construction administration (5%)	\$26,000
Capital project implementation cost (Total)	\$766,000



Project Name	FV-3e: Fairview Creek Off-Channel Storage, Future
Detailed Location	South of NE Halsey Street/West of 207th
Ownership	Private
Objective(s) Addressed	Flood Reduction, Water Quality

Project Background

This project is consistent with the project scope defined in the 2007 CSMP.

This project was originally proposed in the 2007 CSMP as an opportunity to construct floodplain storage on land that could come under City ownership in the future. The project meets multiple objectives and is referenced in the City's *Stormwater Retrofit Strategy And Retrofit Plan* published in 2014.

Project Description

Regrade 5 acres of private property north of the East Salish Pond to provide additional, off-channel floodplain storage to address flooding problems downstream in Fairview Creek. This area will also enhance water quality treatment with native wetland and upland vegetation.

Design Considerations

This project is opportunity-based, and contingent on property availability. Design should consider opportunities to incorporate public access in or around the storage area.

The earthwork and excavation costs assume regrading the site from an average elevation of 195.5 to 194.0 feet, assuming an average of 1.5 feet of excavation across the 5.0-acre site.

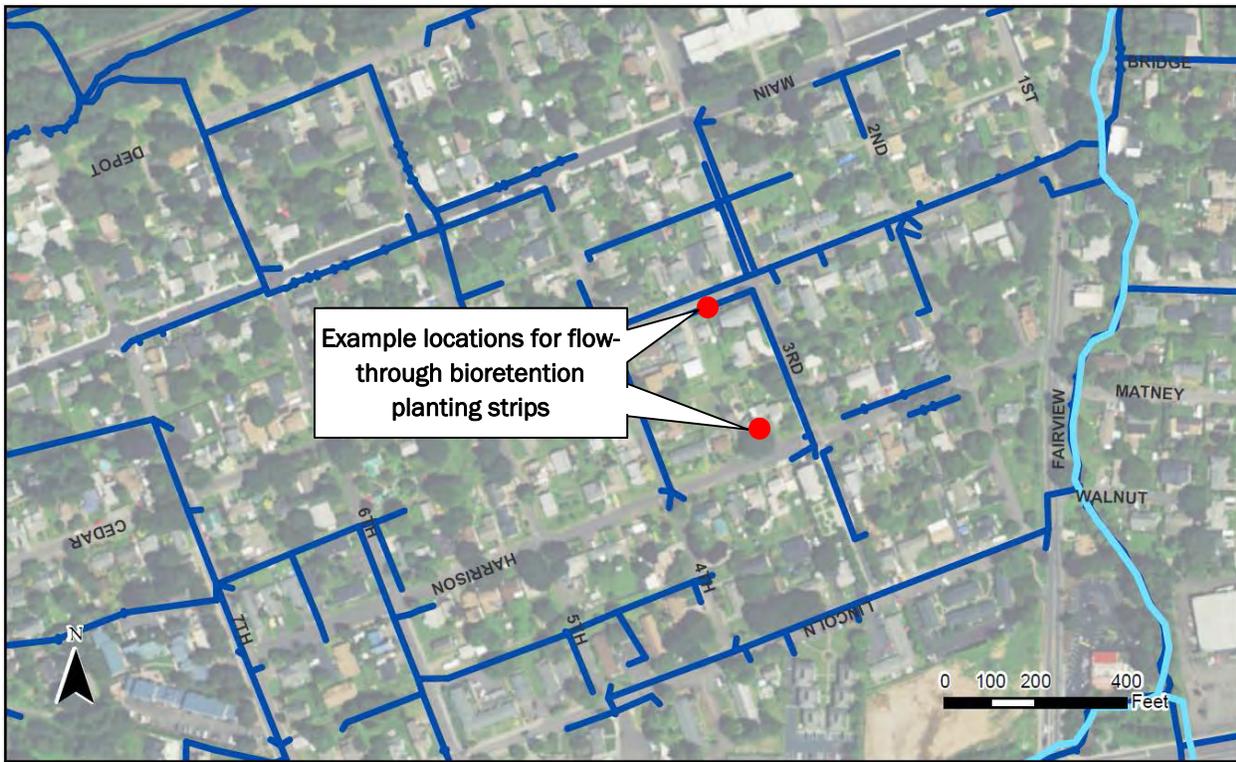
The detailed engineering evaluation should consider hydraulic connections and changes to flow patterns based on completion of CP FV-3d.

The 2007 CSMP identified that limited downstream flow mitigation (approximately 10 cfs) may be provided from construction of additional floodplain storage. Depending on Fairview's need, the scope of this project may be limited to the planting activities.

A Section 404 wetland permit may be required to regrade existing natural wetland areas. Such effort was accounted for in the cost estimate.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$672,000
Engineering and permitting (25%)	\$168,000
Section 404 wetland permit (possible cost)	\$50,000
Construction administration (5%)	\$34,000
Capital project implementation cost (Total)	\$924,000



Project Name	FV-5: Old Town Green Streets Opportunities
Detailed Location	Across city of Fairview
Ownership	Public (City of Fairview)
Objective(s) Addressed	Water Quality
Funding	Annual

Project Background

This project was originally proposed in the 2007 CSMP, and design and cost assumptions have been updated to reflect current implementation strategies. Installation of green streets continues to be an ongoing aspect of the City’s long-term retrofit strategy. The project is referenced in the City’s *Stormwater Retrofit Strategy And Retrofit Plan* published in 2014.

Project Description

Construct swales, stormwater planters, and other green streets elements in Old Town neighborhoods in conjunction with re-paving and sidewalk projects. The 2007 CSMP estimated that approximately 38 viable planting strip sites existed in the 28 blocks of Old Town. The City identified sites for stormwater planter installation in conjunction with related transportation and pedestrian improvement projects. Stormwater planters aid in soil infiltration of stormwater, street shading, and addressing TMDLs including reductions in nutrients (TP and TN), bacteria, and TSS.

Design Considerations

This project is intended to be an ongoing project conducted in conjunction with related transportation or pedestrian improvement projects.

The cost estimate assumes annual installation of 600 sf of stormwater planters. This size is based on treatment of 10,000 sf of new or redeveloped impervious area using a 6 percent impervious sizing factor.

The cost estimate assumes installation of infiltration rain gardens for water quality only, and it does not include costs for an overflow or a piped connection to the stormwater conveyance system.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)	
Capital expense total (including contingency)	\$37,000
Engineering and permitting (35%)	\$13,000
Construction administration (5%)	\$2,000
Capital project implementation cost total (Annual)	\$51,000



Project Name	FV-8a: Chinook Pond Retrofit
Detailed Location	NE Chinook Way
Ownership	Public (City of Fairview)
Objective(s) Addressed	Water Quality

Project Background

This project has been added since development of the 2007 CSMP. The 2007 CSMP recommended maintenance for Chinook Pond, including periodic mowing of blackberry bushes. Recent review of the Chinook Pond site shows potential for modifying the pond grading and function to improve water quality treatment and flow control.

Project Description

Retrofit Chinook Pond in the Fairview Village development to maximize storage and water quality treatment. The project will involve over-excavation of accumulated sediment to expose the pond bottom and remove compacted soil layers. Re-construction should include installation of a new layer of drain rock to promote below-ground storage and infiltration. Soil amendments and stormwater facility planting will be added to enhance water quality treatment.

Design Considerations

The engineering evaluation could include review of the pond flow control structure to consider adjustments to match the City's flow control standards. Potential adjustments include installation of a smaller low-flow orifice to manage a wider range of flows to Fairview Creek.

Construction is likely to require a flow bypass system to convey stormwater runoff to Fairview Creek during construction.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$208,000
Engineering and permitting (15%)	\$31,000
Construction administration (5%)	\$10,000
Capital project implementation cost (Total)	\$249,000



Project Name	FV-8b: Multnomah Pond Retrofit
Detailed Location	NE Multnomah Drive
Ownership	Public (City of Fairview)
Objective(s) Addressed	Water Quality

Project Background

This project has been added since the development of the 2007 CSMP. The 2007 CSMP recommended maintenance for Multnomah Pond, including periodic mowing of blackberry bushes. Recent review of the Multnomah Pond site shows potential for modifying the site grading to improve water quality treatment and flow control.

Project Description

Retrofit Multnomah Pond to maximize storage and water quality treatment. The project will involve excavation and re-grading of the existing site to create a meandering swale from existing inlets to existing outlet. Reconstruction should include installation of drain rock to promote storage and infiltration along meandering path and the addition of soil amendment and stormwater facility plantings to the remainder of the facility for enhanced water quality treatment.

Design Considerations

Design should consider opportunities to adjust ground elevations to better accommodate sediment collection at inlet pipes.

The cost estimate assumes the existing inlet and outlet configuration will be maintained.

Erosion control should consider whether flow bypass is required during construction.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$86,000
Engineering and permitting (35%)	\$30,000
Construction administration (5%)	\$4,000
Capital project implementation cost (Total)	\$120,000



Project Name	FV-9: Fairview Lake Bank Stabilization
Detailed Location	Fairview Lake
Ownership/Funding Source	Public (City of Fairview)
Objective(s) Addressed	Water Quality (erosion prevention)

Project Background

This project has been added since development of the 2007 CSMP. Nearby property owners to Lakeshore City Park have expressed concerns over the rapid rate of erosion along the southern and western edges of Lakeshore City Park along Fairview Lake. Erosion has resulted in turbidity and algal blooms. The City is currently investigating bank restoration activities in conjunction with overall park improvements.

Project Description

Conduct bank stabilization along 500 feet of shoreline to address bank erosion at Lakeshore City Park. The project includes removal of decayed bank vegetation, installation of jute matting, installation of riprap along the lower bank areas, and revegetation and plantings along the upland portion of the bank.

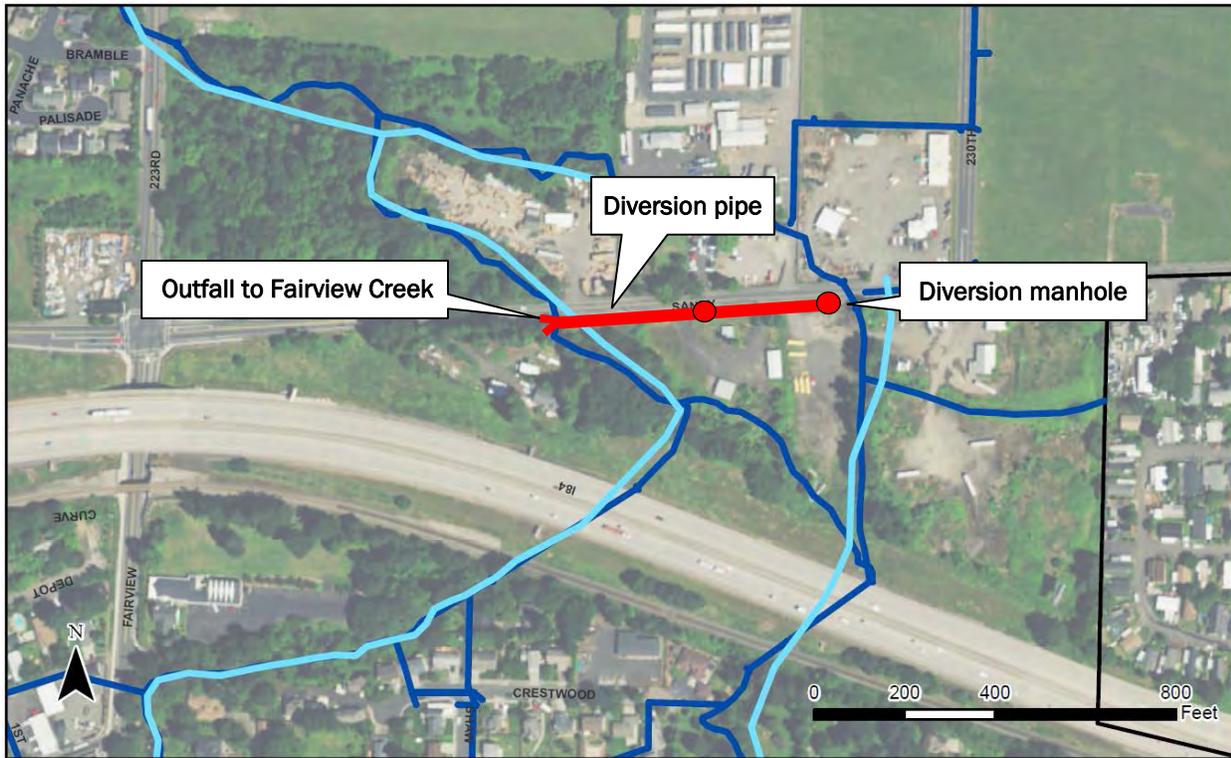
Design Assumptions

The preliminary project definition from City staff identified 500 feet of shoreline requiring restoration. Cost estimates are based on a total of 5,000 sf of restoration area including both upland and in-water areas.

Project implementation may be conducted concurrently with proposed park improvements.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$37,000
Engineering and permitting (35%)	\$13,000
Construction administration (5%)	\$2,000
Capital project implementation cost (Total)	\$52,000



Project Name	NN-1: No-Name Creek Flow Bypass
Detailed Location	NE Sandy Blvd and NE 230th Ave
Ownership	Public (City of Fairview and Multnomah County)
Objective(s) Addressed	Flood Reduction

Project Background

This project has been redefined from CP NN-1a and NN-1b in the 2007 CSMP.

Varying solutions to localized flooding of NE Sandy Boulevard near NE 230th Avenue have been included in multiple drainage master plans and engineering documents. The original Oakley Engineering report published April 1993 originally recommended a flow bypass along the south side of NE Sandy Boulevard to reduce flows crossing NE Sandy Boulevard and reduce flooding of downstream properties.

The 2007 CSMP modeled projected flows from both No Name Creek and a major drainage basin originating outside of the city limits to the east (in Wood Village) and determined that a flow diversion would not be sufficient to reduce flooding of NE Sandy Boulevard. However, flooding reports since 2007 indicate that peak flows are generally conveyed through the NE Sandy Boulevard culvert with minimal flooding.

Review of the 2007 XP-SWMM model shows major flow contributions from east of the city of Fairview that do not appear consistent with observed drainage patterns, so the peak flows at NE Sandy Boulevard may be manageable through a flow bypass.

Project Description

Construct a flow diversion structure on the south side of NE Sandy Boulevard to bypass flows from No Name Creek to Fairview Creek. The project objectives are to reduce flooding on NE Sandy Boulevard and surrounding properties during peak storm events. This would also increase redevelopment potential for properties downstream (north) of NE Sandy Boulevard. Utilize the existing ditch alignment along the south side of NE Sandy Boulevard. Modeled invert elevations at No Name Creek (elevation 38.0 feet) and Fairview Creek (elevation 31.9 feet) would allow for a positive slope alignment of approximately 0.9 percent.

The preliminary design assumes a 36-inch-diameter pipe with manholes every 300 feet. Detailed design efforts should include system modeling to determine whether the bypass pipe is sufficient to convey all flow from No Name Creek, eliminating the need for a conveyance system through private property downstream of NE Sandy Boulevard.

Design Considerations

The engineering evaluation should use the updated XP-SWMM model developed under GN-4 to verify flow contributions from outside the city limits (i.e., Wood Village), account for upstream development and flow diversions (i.e., CP NN-2), and verify size of the bypass pipe.

Design evaluation should consider whether full bypass of No Name Creek is possible to remove drainage impacts to properties on the North side of NE Sandy Boulevard.

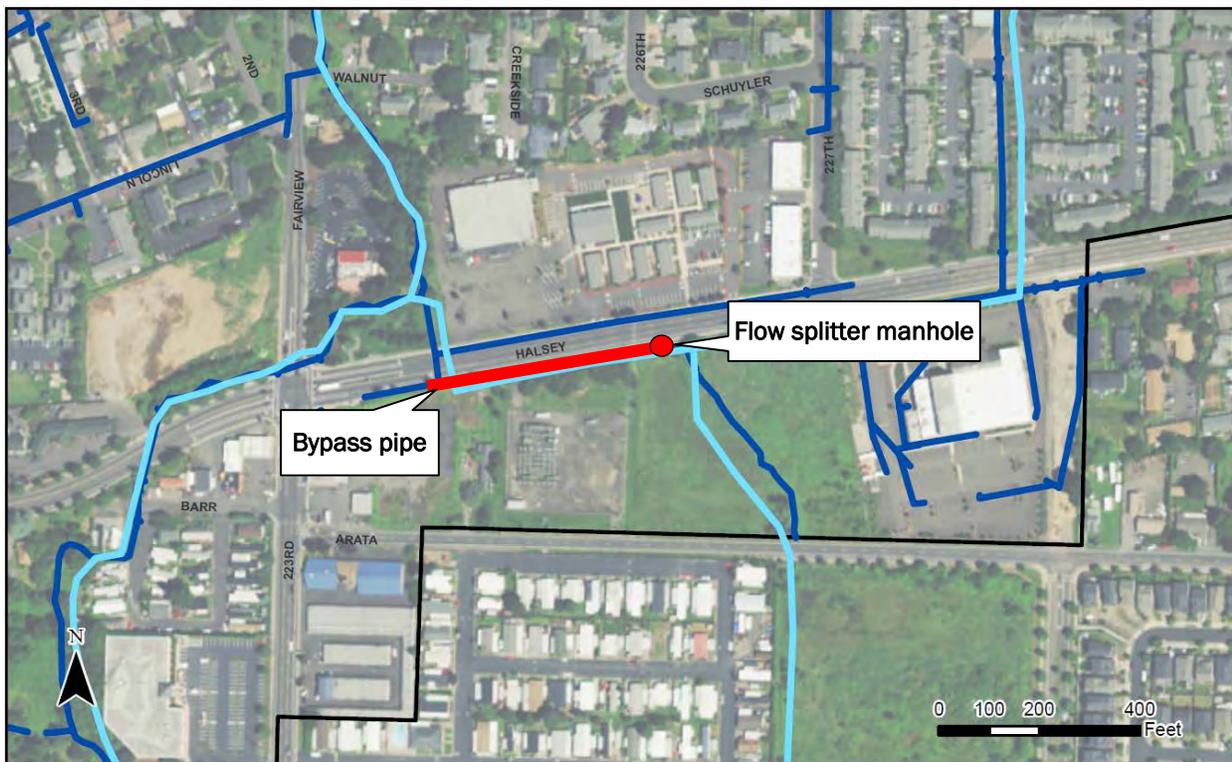
The bypass pipe would be located in the location of the existing drainage ditch along the south side of NE Sandy Boulevard. Consider impacts to existing utilities.

The project could be constructed in conjunction with transportation or pedestrian improvements along NE Sandy Boulevard.

The project must be coordinated with the County, as NE Sandy Boulevard is a County-maintained roadway.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$404,000
Engineering and permitting (25%)	\$101,000
Construction administration (5%)	\$20,000
Capital project implementation cost (Total)	\$525,000



Project Name	NN-2: No Name Creek Capacity Improvement
Detailed Location	NE Halsey Street and NE 227th Avenue
Ownership	Public (City of Fairview and Multnomah County)
Objective(s) Addressed	Flood Reduction

Project Background

This project has been redefined from the 2007 CSMP to address flooding along NE Halsey Street and on private property along No Name Creek.

Previous reports identified ongoing flooding problems along NE Halsey Street in the vicinity of NE 227th Avenue. Because flooding was isolated to private property, the 2007 CSMP limited NN-2 to the addition of riparian shading along the drainage ditch on the south side of NE Halsey Street that becomes No Name Creek.

In the current configuration, the drainage ditch runs north and bisects private property south of NE Halsey Street. As the drainage ditch approaches the south side of NE Halsey Street, a natural diversion causes the majority of flow to discharge east toward No Name Creek. The culvert under NE Halsey Street to No Name Creek is a 36-inch-diameter culvert. During peak flow events, approximately a quarter of the flow may be diverted west along NE Halsey Street to Fairview Creek. The culvert under NE Halsey Street to Fairview Creek is a 24-inch-diameter culvert.

Project Description

Construct a flow control structure on the south side of NE Halsey Street to manage the flow split between No Name Creek (east) and Fairview Creek (west). The flow split should account for the capacity of existing culverts under NE Halsey Street. The culvert under NE Halsey Street to No Name Creek is a 36-inch-diameter culvert. The culvert under NE Halsey Street to Fairview Creek is a 24-inch-diameter culvert that sits at a slightly higher elevation (less than 1 foot of difference) than the No Name Creek culvert.

The preliminary design assumes a large manhole flow control structure would be installed on the south side of NE Halsey Street to manage the flow split between No Name Creek and Fairview Creek. Approximately 390 feet of 24-inch-diameter pipe and two manholes would be installed along the south side of NE Halsey Street to improve conveyance capacity toward Fairview Creek.

Design Considerations

Upstream and retroactive flow control could eliminate the need for this project if peak flows are managed through detention or infiltration before reaching NE Halsey Street.

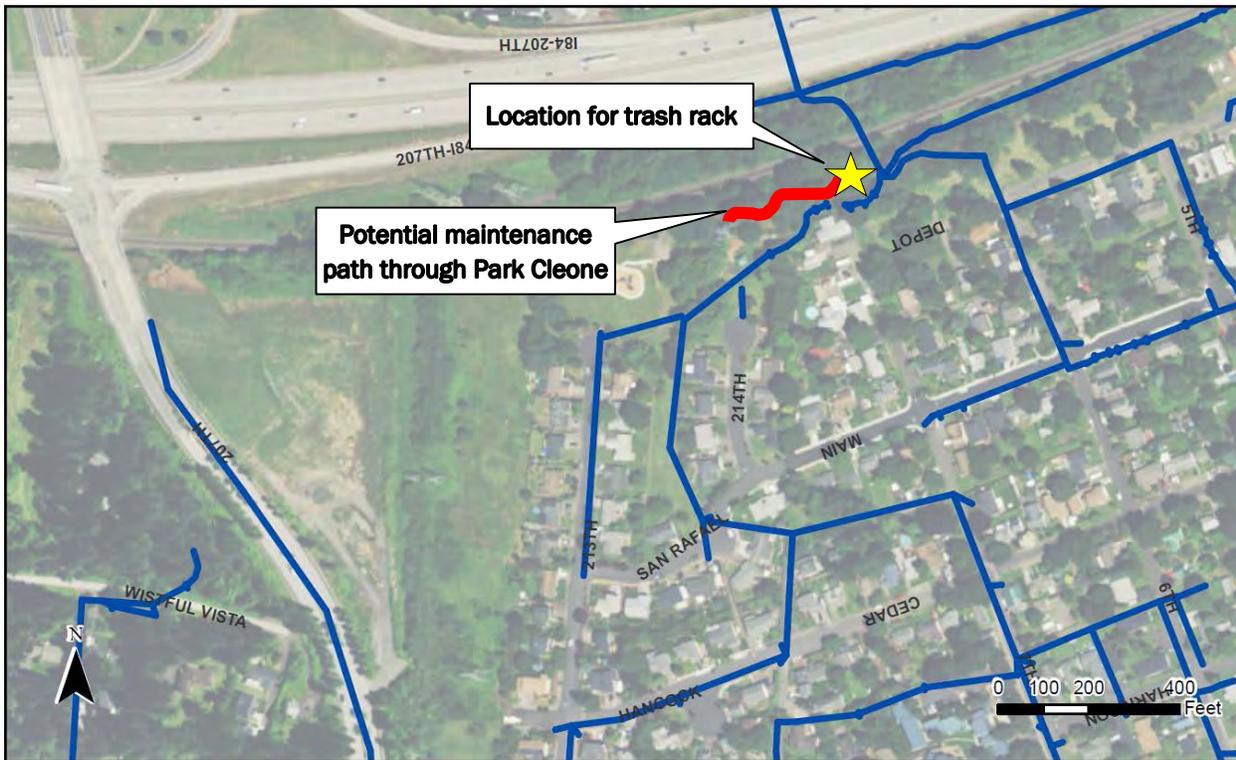
The engineering evaluation should use the updated XP-SWMM model developed under GN-4 to verify flow contributions from outside the city limits (i.e., Wood Village), to account for upstream development potential, and size the flow splitter.

The engineering evaluation for this CP is recommended in conjunction with FV-1 design. Preliminary sizing of FV-1 accounts for contribution from No Name Creek at NE Halsey Street, but sizing may be refined as flows are verified.

The project must be coordinated with the County, as NE Halsey Street is a County-maintained roadway.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$182,000
Engineering and permitting (25%)	\$46,000
Construction administration (5%)	\$9,000
Capital project implementation cost (Total)	\$237,000



Project Name	RT-1: Raintree Creek Culvert Debris Barrier
Detailed Location	Park Cleone City Park
Ownership	Union Pacific (UPRR)
Objective(s) Addressed	Flood Reduction

Project Background

This project was originally proposed in the 2007 CSMP. No changes are proposed to the previously identified project, with the exception of the addition of an access trail (i.e., maintenance path).

Project Description

Install a trash rack at the upstream (south) end of railroad culvert to reduce clogging and allow for debris removal to eliminate potential flooding of the railroad. Construction access may require access through private property and/or through Park Cleone, which provides an opportunity to install an access trail for both construction and maintenance access for ongoing debris removal.

Design Considerations

Design should consider the remote-access location of the railroad culvert and coordination with UPRR. The cost estimate assumes installation of a gravel access road, approximately 300 feet long and 8 feet wide.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)	
Capital expense total (including contingency)	\$59,000
Engineering and permitting (35%)	\$21,000
Construction administration (5%)	\$3,000
Capital project implementation cost (Total)	\$83,000

Project Name	AM-1: Stormwater Infrastructure Asset Management
Detailed Location	Entire city of Fairview
Ownership/Funding Source	Public (City of Fairview)
Objective(s) Addressed	Flood Reduction, Water Quality, Asset Management
Funding	Annual

Project Background

This project has been added since development of the 2007 CSMP. City staff have expressed concern regarding the availability of funds to address system maintenance and replacement. In accordance with the City's recent Water System Master Plan, an asset management line item was added based on the anticipated replacement cost and frequency for system-wide assets.

Project Description

Allocate funds annually to establish a stormwater asset replacement fund that would be used to replace existing public infrastructure. Pipes, catch basins, and other stormwater assets should be replaced when materials deteriorate past an acceptable level of service. Specific replacement needs should be identified through routine maintenance visits and planned CCTV inspections (see AM-2).

Design Considerations

System assets were identified based on information currently included in the City's GIS inventory. Public system assets include approximately 70,000 LF of pipe (generally between 12 and 60 inches diameter), manholes, and sumped and unsumped catch basins. Inlet leaders and pipes less than 12 inches diameter are assumed to be 12-inch-diameter pipe for cost-estimating purposes. Pipe replacement assumes the use of HDPE. The cost estimate assumes present-day (2016) replacement costs for all assets. The annual cost assumes all identified system assets would be replaced once over a 100-year planning period. Engineering and permitting costs are not accounted for in this estimate.

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)	
Capital expense total (including contingency)	\$15,623,000
Engineering and permitting (0%)	N/A
Construction administration (5%)	\$781,000
Asset management allocation (Total)	\$16,404,000
Asset management allocation (Annual)	\$164,000

Project Name	AM-2: Stormwater Infrastructure Video and Cleaning
Detailed Location	Entire city of Fairview
Ownership/Funding Source	Public (City of Fairview)
Objective(s) Addressed	Flood Reduction, Asset Management
Funding	Annual

Project Background

This project has been added since development of the 2007 CSMP.

City staff have expressed concern regarding the availability of funds to address system maintenance and replacement. In accordance with the City's recent Water System Master Plan, an asset management line item was added based on anticipated maintenance needs.

Project Description

Allocate funds annually to implement system-wide CCTV and cleaning of the public stormwater conveyance system. All pipes in the city should be cleaned and inspected on a rotating basis, with the intent to take recordings of 20 percent of the system each year.

Design Considerations

System assets were identified based on information currently included in the City's GIS inventory. Public system assets include approximately 70,000 LF of pipe (generally between 12 and 60 inches diameter).

The annual cost also assumes CCTV and cleaning of 20 percent of the public pipes each year (all pipes inspected over a 5-year period).

Estimated planning-level cost (2016 dollars, rounded to the nearest thousand)

Capital expense total (including contingency)	\$228,000
Engineering and permitting (15%)	\$34,000
Construction administration (5%)	\$11,000
Asset management allocation (Total, every 5 years)	\$274,000
Asset management allocation (Annual)	\$55,000

Appendix B: Cost Estimates



Item	Unit	Recommended unit cost
Water Quality Facility Installation		
General Earthwork/ Excavation	CY	20
Clear vegetation including stumps	AC	8,000
Amended Soils and Mulch	CY	45
Jute Matting, Biodegradeable	SY	6
Energy dissipation pad - Rip-Rap, Class 50	CY	65
Drain Rock	CY	100
Pond Outflow Control Structure	EA	6,000
Pond Inlet Structure	EA	4,500
Rain Garden (no walls or underdrain)	SF	27
Stormwater Planter (includes walls and underdrain)	SF	40
Gravel Access Road	SF	5
Beehive Overflow	EA	1,500
Structure Installation		
Precast Concrete Manhole (48", 0-8' deep)	EA	5,500
Precast Concrete Manhole (48", 9-12' deep)	EA	6,500
Precast Concrete Manhole (60", 0-8' deep)	EA	7,500
Precast Concrete Manhole (60", 9-12' deep)	EA	9,500
Precast Concrete Manhole (72", 0-8' deep)	EA	9,500
Precast Concrete Manhole (72", 9-12' deep)	EA	12,000
Drywell (48", 20-25' deep)	EA	12,000
Catch Basin, all types	EA	2,000
Connection to Existing Structure	EA	1,500
Plug Existing Pipe	EA	500
Outfall Energy Dissipator	EA	3,000-10,000 (varies by project)
Restoration/ Resurfacing		
CCTV Inspection	LF	1.50
Pipe Vactor and Cleaning	LF	1.20
Riparian/Wetland Planting (Non-irrigated)	AC	20,000
Riparian/Wetland Planting (w/ temporary irrigation)	AC	32,000
Seeding, small quantities (under 5,000 sf)	SF	6
Pipe Unit Cost		
HDPE Perforated Underdrain (6", 2-5' Deep)	LF	55
HDPE Inlet Lead (12", 2-5' Deep)	LF	90
HDPE Pipeline (12", 5-10' Deep)	LF	110
HDPE Pipeline (12", 10-15' Deep)	LF	130
HDPE Pipeline (18", 5-10' Deep)	LF	170
HDPE Pipeline (24", 5-10' Deep)	LF	225
HDPE Pipeline (36", 5-10' Deep)	LF	350
HDPE Pipeline (48", 5-10' Deep)	LF	500
HDPE Pipeline (60", 5-10' Deep)	LF	720
Contingencies and Multipliers		
Mobilization/Demobilization	LS	10%
Traffic Control/Utility Relocation	LS	5-10% (varies by project)
Erosion Control	LS	2% (varies by project)
Construction Contingency ¹	LS	30%
Engineering and Permitting (%) ²	LS	15-35%
Construction Administration (%)	LS	5%

Notes

- For asset replacement projects, contingency set at 5%
- Engineering and permitting costs vary by project size and scope.
 - Retrofit, maintenance and asset management projects are set at 15%, with the exception of AM-1
 - Projects with construction costs > \$100,000 are set at 25%
 - Projects with construction costs < \$100,000 are set at 35%

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 Detailed Cost Summary

CIP Number	CIP Name (Capital Projects)	Total Cost	Total Cost (not rounded)
GN-1	Closed-circuit television inspection	\$ 51,000	\$ 51,251
GN-2/3	Targeted Infrastructure Upgrades	\$ 628,000	\$ 628,009
GN-4	System Hydraulic Modeling	\$ 100,000	\$ 100,000
FV-1	Fairview Creek High Flow Bypass	\$ 1,995,000	\$ 1,995,096
FV-2	Halsey Street Swale Retrofit	\$ 163,000	\$ 163,082
FV-3d	Fairview Creek Off-Channel Storage	\$ 766,000	\$ 765,783
FV-3e	Fairview Creek Off-Channel Storage, Future	\$ 924,000	\$ 923,967
FV-5	Old Town Green Streets Opportunities	\$ 51,000	\$ 51,106
FV-8a	Chinook Pond Retrofit	\$ 249,000	\$ 249,049
FV-8b	Multnomah Pond Retrofit	\$ 120,000	\$ 119,970
FV-9	Fairview Lake Bank Stabilization	\$ 52,000	\$ 52,140
NN-1	No-Name Creek Flow Bypass	\$ 525,000	\$ 524,973
NN-2	No-Name Creek Capacity Improvement	\$ 237,000	\$ 236,782
RT-1	Raintree Creek Culvert Debris Barrier	\$ 83,000	\$ 83,210
CAPITAL PROJECT TOTAL		\$ 5,944,000	\$ 5,944,417
AM-1	Stormwater Infrastructure Asset Replacement	\$ 164,000	\$ 164,044
AM-2	Stormwater Infrastructure Inspection and Cleaning	\$ 55,000	\$ 54,772
ASSET MANAGEMENT TOTAL (Annual)		\$ 219,000	\$ 218,816

City of Fairview Consolidated Stormwater Master Plan Update
 Brown and Caldwell, 2016
 Detailed Cost Estimate

CIP GN-1: Closed-Circuit Television Inspection				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
CCTV Inspection	13,100	LF	1.50 \$	19,650
Pipe Vactor and Cleaning	13,100	LF	1.20 \$	15,720
Capital Expense Sub-Total			\$	35,370
Mobilization/Demobilization	10%	LS	\$	3,537
Traffic Control/Utility Relocation	5%	LS	\$	1,769
Erosion Control	0%	LS	\$	-
Construction Cost Sub-Total			\$	40,676
Construction Contingency	5%	LS	\$	2,034
Capital Expense Total			\$	42,709
<u>Administrative Expenses</u>				
Engineering and Permitting	15%	LS	\$	6,406
Construction & General Administration	5%	LS	\$	2,135
Administrative Expense Total			\$	8,542
Capital Implementation Cost Total			\$	51,251

City of Fairview Consolidated Stormwater Master Plan Update
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CIP GN-2/3: Targeted Infrastructure Upgrades				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
Capital Expenses				
Catch Basin, all types	48	EA	\$ 2,000	\$ 96,000
HDPE Pipeline (12", 5-10' Deep)	3,000	EA	\$ 110	\$ 330,000
Capital Expense Sub-Total				\$ 426,000
Mobilization/Demobilization	10%	LS		\$ 42,600
Traffic Control/Utility Relocation	5%	LS		\$ 21,300
Erosion Control	2%	LS		\$ 8,520
Construction Cost Sub-Total				\$ 498,420
Construction Contingency	5%	LS		\$ 24,921
Capital Expense Total				\$ 523,341
Administrative Expenses				
Engineering and Permitting	15%	LS		\$ 78,501
Construction & General Administration	5%	LS		\$ 26,167
Administrative Expense Total				\$ 104,668
Capital Implementation Cost Total				\$ 628,009

City of Fairview Consolidated Stormwater Master Plan Update
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CIP GN-4: System Hydraulic Modeling				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
		EA	\$	-
		EA	\$	-
Capital Expense Sub-Total			\$	-
Mobilization/Demobilization	10%	LS	\$	-
Traffic Control/Utility Relocation	5%	LS	\$	-
Erosion Control	2%	LS	\$	-
Construction Cost Sub-Total			\$	-
Construction Contingency	0%	LS	\$	-
Capital Expense Total			\$	-
<u>Administrative Expenses</u>				
Engineering and Permitting*	15%	LS	\$	-
Construction & General Administration	5%	LS	\$	-
Administrative Expense Total			\$	-
Capital Implementation Cost Total			\$	100,000

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CIP FV-1: Fairview Creek High Flow Bypass				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
Capital Expenses				
HDPE Pipeline (48", 5-10' Deep)	1,800	LF	\$ 500	\$ 900,000
Precast Concrete Manhole (72", 9-12' deep)	7	EA	\$ 12,000	\$ 84,000
Outfall Energy Dissipator	1	EA	\$ 10,000	\$ 10,000
Rebuilding headwall at Marilyn's City Park	1	EA	\$ 15,000	\$ 15,000
Capital Expense Sub-Total				\$ 1,009,000
Mobilization/Demobilization	10%	LS		\$ 100,900
Traffic Control/Utility Relocation	5%	LS		\$ 50,450
Erosion Control	2%	LS		\$ 20,180
Construction Cost Sub-Total				\$ 1,180,530
Construction Contingency	30%	LS		\$ 354,159
Capital Expense Total				\$ 1,534,689
Administrative Expenses				
Engineering and Permitting ¹	25%	LS		\$ 383,672
Construction & General Administration	5%	LS		\$ 76,734
Administrative Expense Total				\$ 460,407
Capital Implementation Cost Total				\$ 1,995,096

¹Engineering evaluation should utilize the updated XP-SWMM model developed for the Fairview Creek and No Name Creek systems under GN-4.

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CIP FV-2: Halsey Street Swale Retrofit				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
Drywell (48", 20-25' deep)	2	EA	\$ 12,000	\$ 24,000
Rain Garden (Includes drain rock, amended soil, and planting)	1,800	SF	\$ 27	\$ 48,600
HDPE Perforated Underdrain (6", 2-5' Deep)	150	LF	\$ 55	\$ 8,250
Beehive Overflow	2	EA	\$ 1,500	\$ 3,000
HDPE Pipeline (12", 5-10' Deep)	50	LF	\$ 110	\$ 5,500
Capital Expense Sub-Total				\$ 89,350
Mobilization/Demobilization	10%	LS		\$ 8,935
Traffic Control/Utility Relocation	5%	LS		\$ 4,468
Erosion Control	2%	LS		\$ 1,787
Construction Cost Sub-Total				\$ 104,540
Construction Contingency	30%	LS		\$ 31,362
Capital Expense Total				\$ 135,901
<u>Administrative Expenses</u>				
Engineering and Permitting	15%	LS		\$ 20,385
Construction & General Administration	5%	LS		\$ 6,795
Administrative Expense Total				\$ 27,180
Capital Implementation Cost Total				\$ 163,082

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CIP FV-3d: Fairview Creek Off Channel Storage, Public				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
General Earthwork/ Excavation	12,100	CY	\$ 20	\$ 242,000
Clear vegetation including stumps	3	AC	\$ 8,000	\$ 24,000
Riparian/Wetland Planting (w/ temporary irrigation)	3	AC	\$ 32,000	\$ 96,000
Capital Expense Sub-Total				\$ 362,000
Mobilization/Demobilization	10%	LS		\$ 36,200
Traffic Control/Utility Relocation	5%	LS		\$ 18,100
Erosion Control	2%	LS		\$ 7,240
Construction Cost Sub-Total				\$ 423,540
Construction Contingency	30%	LS		\$ 127,062
Capital Expense Total				\$ 550,602
<u>Administrative Expenses</u>				
Engineering and Permitting	25%	LS		\$ 137,651
404 Wetland Permit (Possible Cost)	1	EA	\$ 50,000	\$ 50,000
Construction & General Administration	5%	LS		\$ 27,530
Administrative Expense Total				\$ 215,181
Capital Implementation Cost Total				\$ 765,783

City of Fairview Consolidated Stormwater Master Plan Update
 Brown and Caldwell, 2016
 Detailed Cost Estimate

CIP FV-3e: Fairview Creek Off Channel Storage, Private				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
General Earthwork/ Excavation	12,100	CY	\$ 20	\$ 242,000
Clear vegetation including stumps	5	AC	\$ 8,000	\$ 40,000
Riparian/Wetland Planting (w/ temporary irrigation)	5	AC	\$ 32,000	\$ 160,000
Capital Expense Sub-Total				\$ 442,000
Mobilization/Demobilization	10%	LS		\$ 44,200
Traffic Control/Utility Relocation	5%	LS		\$ 22,100
Erosion Control	2%	LS		\$ 8,840
Construction Cost Sub-Total				\$ 517,140
Construction Contingency	30%	LS		\$ 155,142
Capital Expense Total				\$ 672,282
<u>Administrative Expenses</u>				
Engineering and Permitting	25%	LS		\$ 168,071
404 Wetland Permit (Possible Cost)	1	EA	\$ 50,000	\$ 50,000
Construction & General Administration	5%	LS		\$ 33,614
Administrative Expense Total				\$ 251,685
Capital Implementation Cost Total				\$ 923,967

City of Fairview Consolidated Stormwater Master Plan Update
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 Detailed Cost Estimate

CIP FV-5: Old Town Green Streets Opportunities				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
Stormwater Planter (includes walls, underdrain, drain rock, amended soil, and planting)	600	SF	\$ 40	\$ 24,000
Capital Expense Sub-Total				\$ 24,000
Mobilization/Demobilization	10%	LS		\$ 2,400
Traffic Control/Utility Relocation	5%	LS		\$ 1,200
Erosion Control	2%	LS		\$ 480
Construction Cost Sub-Total				\$ 28,080
Construction Contingency	30%	LS		\$ 8,424
Capital Expense Total				\$ 36,504
<u>Administrative Expenses</u>				
Engineering and Permitting	35%	LS		\$ 12,776
Construction & General Administration	5%	LS		\$ 1,825
Administrative Expense Total				\$ 14,602
Capital Implementation Cost Total¹				\$ 51,106

¹Costs are based on an annual installation of stormwater planters.

City of Fairview Consolidated Stormwater Master Plan Update
 Brown and Caldwell, 2016
 Detailed Cost Estimate

CIP FV-8a: Chinook Pond Retrofit					
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost	
Capital Expenses					
Clear vegetation including stumps	0.4	AC	\$ 8,000	\$	3,200
General Earthwork/Excavation	1,300	CY	\$ 20	\$	26,000
Drain Rock	650	CY	\$ 100	\$	65,000
Amended Soils and Mulch	650	CY	\$ 45	\$	29,250
Riparian/Wetland Planting (Non-irrigated)	0.4	AC	\$ 20,000	\$	8,000
Flow bypass during construction	1	LS	\$ 5,000	\$	5,000
Capital Expense Sub-Total				\$	136,450
Mobilization/Demobilization	10%	LS		\$	13,645
Traffic Control/Utility Relocation	5%	LS		\$	6,823
Erosion Control	2%	LS		\$	2,729
Construction Cost Sub-Total				\$	159,647
Construction Contingency	30%	LS		\$	47,894
Capital Expense Total				\$	207,540
Administrative Expenses					
Engineering and Permitting	15%	LS		\$	31,131
Construction & General Administration	5%	LS		\$	10,377
Administrative Expense Total				\$	41,508
Capital Implementation Cost Total				\$	249,049

City of Fairview Consolidated Stormwater Master Plan Update
 Brown and Caldwell, 2016
 Detailed Cost Estimate

CIP FV-8b: Multnomah Pond Retrofit				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
Clear vegetation including stumps	0.13	AC	\$ 8,000	\$ 1,040
General Earthwork/Excavation	815	CY	\$ 20	\$ 16,300
Drain Rock	200	CY	\$ 100	\$ 20,000
Amended Soils and Mulch	200	CY	\$ 45	\$ 9,000
Riparian/Wetland Planting (Non-irrigated)	0.25	AC	\$ 20,000	\$ 5,000
Flow bypass during construction	1	LS	\$ 5,000	\$ 5,000
Capital Expense Sub-Total				\$ 56,340
Mobilization/Demobilization	10%	LS	\$	5,634
Traffic Control/Utility Relocation	5%	LS	\$	2,817
Erosion Control	2%	LS	\$	1,127
Construction Cost Sub-Total				\$ 65,918
Construction Contingency	30%	LS	\$	19,775
Capital Expense Total				\$ 85,693
<u>Administrative Expenses</u>				
Engineering and Permitting	35%	LS	\$	29,993
Construction & General Administration	5%	LS	\$	4,285
Administrative Expense Total				\$ 34,277
Capital Implementation Cost Total				\$ 119,970

City of Fairview Consolidated Stormwater Master Plan Update
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CIP FV-9: Fairview Lake Bank Stabilization				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
Capital Expenses				
Clear vegetation including stumps	0.11	AC	\$ 8,000	\$ 880
Riparian/Wetland Planting (Non-irrigated)	0.11	AC	\$ 20,000	\$ 2,200
Jute Matting, Biodegradeable	556	SY	\$ 6	\$ 3,336
Energy dissipation pad - Rip-Rap, Class 50	278	CY	\$ 65	\$ 18,070
Capital Expense Sub-Total				\$ 24,486
Mobilization/Demobilization	10%	LS		\$ 2,449
Traffic Control/Utility Relocation	5%	LS		\$ 1,224
Erosion Control	2%	LS		\$ 490
Construction Cost Sub-Total				\$ 28,649
Construction Contingency	30%	LS		\$ 8,595
Capital Expense Total				\$ 37,243
Administrative Expenses				
Engineering and Permitting	35%	LS		\$ 13,035
Construction & General Administration	5%	LS		\$ 1,862
Administrative Expense Total				\$ 14,897
Capital Implementation Cost Total				\$ 52,140

City of Fairview Consolidated Stormwater Master Plan Update
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 Detailed Cost Estimate

CIP NN-1: No-Name Creek Flow Bypass				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
HDPE Pipeline (36", 5-10' Deep)	650	LF	\$ 350	\$ 227,500
Precast Concrete Manhole (60", 0-8' deep)	2	LF	\$ 7,500	\$ 15,000
Outfall Energy Dissipator	1	EA	\$ 5,000	\$ 5,000
Seeding, small quantities	3,000	SF	\$ 6	\$ 18,000
Capital Expense Sub-Total				\$ 265,500
Mobilization/Demobilization	10%	LS		\$ 26,550
Traffic Control/Utility Relocation	5%	LS		\$ 13,275
Erosion Control	2%	LS		\$ 5,310
Construction Cost Sub-Total				\$ 310,635
Construction Contingency	30%	LS		\$ 93,191
Capital Expense Total				\$ 403,826
<u>Administrative Expenses</u>				
Engineering and Permitting ¹	25%	LS		\$ 100,956
Construction & General Administration	5%	LS		\$ 20,191
Administrative Expense Total				\$ 121,148
Capital Implementation Cost Total				\$ 524,973

¹Engineering evaluation should utilize the updated XP-SWMM model developed for the Fairview Creek and No Name Creek systems under GN-4.

City of Fairview Consolidated Stormwater Master Plan Update
 Brown and Caldwell, 2016
 Detailed Cost Estimate

CIP NN-2: No-Name Creek Capacity Improvement				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
Capital Expenses				
HDPE Pipeline (24", 5-10' Deep)	390	LF	\$ 225	\$ 87,750
Precast Concrete Manhole (60", 0-8' deep)	1	LF	\$ 7,500	\$ 7,500
Precast Concrete Manhole (48", 0-8' deep)	2	EA	\$ 5,500	\$ 11,000
Connection to Existing Structure	1	EA	\$ 1,500	\$ 1,500
Seeding, small quantities	2,000	SF	\$ 6	\$ 12,000
Capital Expense Sub-Total				\$ 119,750
Mobilization/Demobilization	10%	LS		\$ 11,975
Traffic Control/Utility Relocation	5%	LS		\$ 5,988
Erosion Control	2%	LS		\$ 2,395
Construction Cost Sub-Total				\$ 140,108
Construction Contingency	30%	LS		\$ 42,032
Capital Expense Total				\$ 182,140
Administrative Expenses				
Engineering and Permitting ¹	25%	LS		\$ 45,535
Construction & General Administration	5%	LS		\$ 9,107
Administrative Expense Total				\$ 54,642
Capital Implementation Cost Total				\$ 236,782

¹Engineering evaluation should utilize the updated XP-SWMM model developed for the Fairview Creek and No Name Creek systems under GN-4.

City of Fairview Consolidated Stormwater Master Plan Update
 Brown and Caldwell, 2016
 Detailed Cost Estimate

CIP RT-1: Raintree Creek Culvert Debris Barrier				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
<u>Capital Expenses</u>				
Trash Rack	1	LS	\$ 24,000	\$ 24,000
Gravel Access Road	2,400	SF	\$ 5	\$ 12,000
Capital Expense Sub-Total				\$ 36,000
Mobilization/Demobilization	20%	LS		\$ 7,200
Traffic Control/Utility Relocation	5%	LS		\$ 1,800
Erosion Control	2%	LS		\$ 720
Construction Cost Sub-Total				\$ 45,720
Construction Contingency	30%	LS		\$ 13,716
Capital Expense Total				\$ 59,436
<u>Administrative Expenses</u>				
Engineering and Permitting	35%	LS		\$ 20,803
Construction & General Administration	5%	LS		\$ 2,972
Administrative Expense Total				\$ 23,774
Capital Implementation Cost Total				\$ 83,210

City of Fairview Consolidated Stormwater Master Plan Update
Brown and Caldwell, 2016
Detailed Cost Estimate

CIP AM-1: Stormwater Infrastructure Asset Replacement				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
Capital Expenses				
HDPE Inlet Lead (12", 2-5' Deep)	16,060	LF	\$ 90	\$ 1,445,400
HDPE Pipeline (12", 5-10' Deep)	28,426	LF	\$ 110	\$ 3,126,860
HDPE Pipeline (18", 5-10' Deep)	15,549	LF	\$ 170	\$ 2,643,330
HDPE Pipeline (24", 5-10' Deep)	6,982	LF	\$ 225	\$ 1,570,950
HDPE Pipeline (36", 5-10' Deep)	2,045	LF	\$ 350	\$ 715,750
HDPE Pipeline (60", 5-10' Deep)	566	LF	\$ 720	\$ 407,520
Precast Concrete Manhole (48", 9-12' deep)	279	EA	\$ 6,500	\$ 1,813,500
Catch Basin, all types	497	EA	\$ 2,000	\$ 994,000
Capital Expense Sub-Total				\$ 12,717,310
Mobilization/Demobilization	10%	LS		\$ 1,271,731
Traffic Control/Utility Relocation	5%	LS		\$ 635,866
Erosion Control	2%	LS		\$ 254,346
Construction Cost Sub-Total				\$ 14,879,253
Construction Contingency	5%	LS		\$ 743,963
Capital Expense Total				\$ 15,623,215
Administrative Expenses				
Engineering and Permitting	0%	LS		\$ -
Construction & General Administration	5%	LS		\$ 781,161
Administrative Expense Total				\$ 781,161
Capital Implementation Cost Total				\$ 16,404,376
Lifespan of Stormwater Infrastructure (Replacement)	100	Years		
Annual Implementation Cost				\$ 164,044

City of Fairview Consolidated Stormwater Master Plan Update
 Brown and Caldwell, 2016
 Detailed Cost Estimate

CIP AM-2: Stormwater Infrastructure Video and Cleaning				
Description	Quantity	Unit	Unit Cost (2016)	2016 Cost
Capital Expenses				
CCTV Inspection	70,000	LF	\$ 1.50	\$ 105,000
Pipe Vactor and Cleaning	70,000	LF	\$ 1.20	\$ 84,000
Capital Expense Sub-Total				\$ 189,000
Mobilization/Demobilization	10%	LS		\$ 18,900
Traffic Control/Utility Relocation	5%	LS		\$ 9,450
Erosion Control	0%	LS		\$ -
Construction Cost Sub-Total				\$ 217,350
Construction Contingency	5%	LS		\$ 10,868
Capital Expense Total				\$ 228,218
Administrative Expenses				
Engineering and Permitting	15%	LS		\$ 34,233
Construction & General Administration	5%	LS		\$ 11,411
Administrative Expense Total				\$ 45,644
Capital Implementation Cost Total (city-wide)				\$ 273,861
System Inspection Cycle	5	Years		
Annual Implementation Cost (20% of City)				\$ 54,772



AGENDA STAFF REPORT

MEETING DATE	AGENDA ITEM #	REFERENCE NUMBER
11/16/2016	2.c.	17-2016

TO: Mayor and City Council
FROM: Allan Berry P.E., Public Works Director
Zaldy Macalanda P.E., Engineering Associate
THRU: Nolan K. Young, City Administrator
DATE: 11/10/2016

ISSUE:

Award Bid: NE 7th St. (Main-Cedar Side) Sidewalk Improvements Phase 6, Job No. 15-187

RELATED COUNCIL GOALS:

Goal #1: Improve pedestrian safety and walkability of the community.

BACKGROUND:

The NE 7th St. (Main-Cedar) Sidewalk Improvements Phase 6 is the sixth and the most recent sidewalk project in the Historic Fairview neighborhood that will provide sidewalk connectivity for pedestrian safety and walkability of the community. Phases 1 and 2 installed sidewalks adjacent to Fairview Elementary School; Phase 3 connected the Community Center with Fairview Elementary School, Phase 4 connected Park Cleone development to Fairview Elementary School, Phase 5 connected NE 223rd arterial street to Fairview Elementary School and the Heslin Museum. This project will provide new sidewalk connectivity on both sides of NE 7th St., from Main to Cedar. The project generally consists of improvements to approximately 300 lineal feet of 7th Street between Main Street and Cedar Street, including curbs, sidewalks, paving, and drainage improvements in the Historic Fairview neighborhood.

An advertisement for the bid was placed in the Daily Journal of Commerce on October 19th and 26th, 2016. Six contractors submitted sealed bids on Wednesday, November 9, 2016. The bids were reviewed for mathematical correctness and conformance to the bid requirements. The low bid was submitted by Jim Smith Excavating, Inc. of Oregon City, Oregon with a bid of \$109,795.00, based on the unit costs of the anticipated quantities for the project. City Staff and the consultant, All County Surveyors & Planners, Inc., have contacted the references and reviewed the bid documents and have found Jim Smith Excavating, Inc. the lowest responsible bidder.

The responsive bidders and bid amounts are summarized below:

Bidder Name	Total Bid
Jim Smith Excavating, Inc.	\$ 109,795.00
The M.E.I. Group	\$ 143,939.00
Munitor Construction	\$ 144,695.00
Dirt & Aggregate Interchange	\$ 149,490.00
Paul Brothers	\$ 159,946.67
Westech Construction, Inc.	\$ 232,860.00

RECOMMENDED ACTION:

City staff respectfully recommends approval of Resolution 48-2016 to award the bid of NE 7th St. (Main-Cedar) Sidewalk Improvements Phase 6, Job No. 15-187.

ALTERNATIVE ACTIONS:

If the project is not constructed, there will be no continuous sidewalk for pedestrian travel north-south across the Historic Fairview neighborhood.

BUDGET IMPLICATIONS:

Jim Smith Excavating, Inc. of Oregon City, Oregon submitted a bid of \$109,795.00. This project will be funded with \$66,282.00 from the Community Development Block Grant (CDBG) and the balance from the budgeted Storm Improvement Funds and the State Tax Street Fund.

COUNCIL ALTERNATIVES:

1. **Staff Recommendation:** Approval of Resolution 48-2016 to award the bid of NE 7th St. (Main-Cedar) Sidewalk Improvements Phase 6, Job No. 15-187.
2. If the Council does not award the bid of NE 7th St. (Main-Cedar) Improvement Project, then there will be no sidewalk connectivity for pedestrian safety and walkability in the historic Fairview neighborhood.

ATTACHMENTS:

- Resolution 48-2016
- Contract Agreement, Exhibit "A"



RESOLUTION
(48-2016)

A RESOLUTION OF THE FAIRVIEW CITY COUNCIL AUTHORIZING THE CITY ADMINISTRATOR TO ENTER INTO A PUBLIC IMPROVEMENT CONTRACT FOR CONSTRUCTION OF THE NE 7TH STREET (MAIN-CEDAR) SIDEWALK IMPROVEMENTS PHASE 6

WHEREAS, the City Council adopted the Transportation System Plan in 1999 and that plan includes a Sidewalk Master Plan, and

WHEREAS, the City Council adopted the Renaissance Plan in 1997 and that plan describes the need for pedestrian pathways in the Historic Fairview area, and

WHEREAS, the City Council developed the Visioning Document 2022 and that plan lists needed improvements to pedestrian and bicycle safety and links to school and services in the Historic Fairview area, and

WHEREAS, the NE 7th Street (Main-Cedar) Sidewalk Improvements Phase 6 is consistent with the Sidewalk Master Plan, Renaissance Plan, and Visioning Document 2022; and

WHEREAS, the City applied for and received a Community Development Block Grant from the federal government for the NE 7th Street (Main-Cedar) Sidewalk Improvements Phase 6, and

WHEREAS, the City competitively bid the NE 7th Street (Main-Cedar) Sidewalk Improvements Phase 6 consistent with the City of Fairview Public Contracting Rules; and

WHEREAS, Jim Smith Excavating, Inc. is the lowest responsible bidder with a bid of \$109,795.00, based on the unit costs of the anticipated quantities for the project.

NOW, THEREFORE, BE IT RESOLVED BY THE FAIRVIEW CITY COUNCIL AS FOLLOWS:

Section 1 The Fairview City Council hereby authorizes the City Administrator to enter into a contract with Jim Smith Excavating, Inc. for the NE 7th Street (Main-Cedar) Sidewalk Improvements Phase 6 in the amount of \$109,795,00 on behalf of the City of Fairview substantially in the form attached hereto as Exhibit A.

Section 2 This resolution is and shall be effective from and after its passage by the City Council.

Resolution adopted by the City Council of the City of Fairview, this 16th day of November, 2016.

Mayor, City of Fairview
Ted Tosterud

ATTEST

City Recorder, City of Fairview
Devree Leymaster

Date
CP135

EXHIBIT "A"

AGREEMENT

This Agreement is dated as of the _____ day of _____ in the year 2016 by and between: CITY OF FAIRVIEW (here-in-after called Owner) and

Jim Smith Excavating, Inc.
(here-in-after called Contractor)

Owner and Contractor, in consideration of the mutual covenants here-in-after set forth, agree as follows:

ARTICLE 1 - WORK

1.01 Contractor hereby agrees to furnish all labor, materials, equipment and supplies for the construction of the project entitled:

CITY OF FAIRVIEW – NE 7th St. (Main-Cedar) Sidewalk Improvements Phase 6

The project generally consists of improvements to approximately 500 lineal feet of Main Street between SE 223rd Avenue and Second Street and approximately 400 lineal feet of First Street between Main and Cedar Street, including curb and sidewalk, drainage and rain garden improvements, AC surface restoration and pavement overlay, in the City of Fairview, Oregon.

ARTICLE 2 - Engineer

2.01 The Project has been designed by ALL COUNTY SURVEYORS & PLANNERS, INC., who is here-in-after called Engineer and who will assume all duties and responsibilities and will have the rights and authority assigned to Engineer in the Contract Documents in connection with completion of the Work in accordance with the Contract Documents.

ARTICLE 3 - CONTRACT TIME

3.01 The Work shall be substantially complete by January 30, 2017.

3.02 Liquidated Damages: Owner and Contractor recognize that time is of the essence in this Agreement and that Owner will suffer financial loss if the Work is not substantially complete within the time specified in Article 3.01.

3.03 In the event the successful bidder fails to achieve substantial completion or final completion within the time limits specified in the contract documents, liquidated damages shall be paid to Owner. Liquidated damages shall be paid in the amount of \$500 per day, based on loss of use if the project is not complete within the time specified in Article 3.01, with such extensions of time as are provided for in the General Conditions.

ARTICLE 4 - CONTRACT PRICE

4.01 Owner shall pay Contractor for performance of the Work the amounts determined for the total number of each of the units of work in the bid schedule completed at the unit price stated. The number of units contained in this schedule is approximate only, and the final payment will be made for the actual number of units that are incorporated in, or made necessary by the Work covered by the Contract.

EXHIBIT "A"

ARTICLE 5 - PROGRESS PAYMENT PROCEDURES

5.01 On no later than the 4th day of every month, the Contractor shall prepare and submit to the Engineer a progress payment estimate filled out and signed by the Contractor covering the total quantities under each item of work that have been completed from the start of the job up to and including the last day of the preceding month, and the value of the work completed with such supporting evidence as required by the Owner and/or Engineer. This estimate shall also include an allowance for the cost of such materials and equipment required in the permanent work as has been delivered to the site and suitably protected but not as yet incorporated in the work.

5.02 The Engineer will, within 5 days, after receipt of each progress payment estimate, either indicate in writing the approval of payment and present the progress payment estimate to the Owner or return the progress payment estimate to the Contractor indicating in writing the reasons for refusing to approve payment. In the latter case, the Contractor may make the necessary corrections and resubmit the progress payment estimate.

5.03 On or about the 25th day of each month, the Owner will, after deducting previous payments made, pay to the Contractor 95% of the amount of the estimate as approved by the Engineer. The 5% retained percentage will be held by the Owner until the final completion of all work under the Contract.

5.04 Progress payments shall be made under the terms and conditions governing final payment, except that it shall not constitute a waiver of claims.

ARTICLE 6 - FINAL PAYMENT

6.01 The Contractor shall notify the Engineer in writing when the work is considered complete and ready for final inspection and acceptance. Within 15 work days after receiving the notice, either accept the work or notify the Contractor of work yet to be performed. If the work is accepted, the Engineer shall notify the Contractor and will make a final estimate and recommend acceptance of the work as of a certain date. Upon approval and acceptance by the Owner, the Contractor will be paid a total payment equal to the amount due under the contract including all retainage.

6.02 Prior to final payment the Contractor shall deliver to the Owner a receipt for all amounts paid or payable to the Contractor and a release and waiver of all claims against the Owner arising from or connected with the contract and shall submit evidence satisfactory to the Engineer that all amounts due for labor, materials and all other obligations connected with the work have been fully and finally settled, or are fully covered by insurance.

6.03 The acceptance by the Contractor of the final payment shall release the Owner and the Engineer from all claims and liability to the Contractor for all things done or furnished in connection with the work, and for every act of the Owner and others relating to or arising out of the work.

ARTICLE 7 - INTEREST

7.01 All moneys not paid when due hereunder shall bear interest at the maximum rate allowed by law at the place of the Project, when requested in accordance with ORS 279.

ARTICLE 8 - CONTRACTOR'S REPRESENTATIONS

In order to induce Owner to enter into this Agreement, Contractor makes the following representations:

EXHIBIT "A"

8.01 Contractor has familiarized himself with the nature and extent of the Contract Documents, Work, locality, and with all local conditions, and federal, state, and local laws, ordinances, rules and regulations that in any manner may affect cost, progress or performance of the Work.

8.02 Contractor has studied all reports of investigations and tests of subsurface and latent physical conditions at the site or otherwise affecting cost, progress or performance of the Work which were relied upon by Engineer in the preparation of the Drawings and Specifications.

8.03 Contractor has made or caused to be made examinations, investigations and tests and studies of such reports and related data in addition to those referred to in paragraph 8.2 as he deems necessary for the performance of the Work at the Contract Price, within the Contract Time, and in accordance with the other terms and conditions of the Contract Documents; and no additional examinations, investigations, tests, reports or similar data are or will be required by Contractor for such purposes.

8.04 Contractor has correlated the results of all such observations, examinations, investigations, tests, reports and data with the terms and conditions of the Contract Documents.

8.05 Contractor has given Engineer written notice of all conflicts, errors or discrepancies that he has discovered in the Contract Documents and the written resolution thereof by Engineer is acceptable to Contractor.

ARTICLE 9 - MEDIATION

9.01 Should any dispute arise between the parties to this Agreement, it is agreed that such dispute will be submitted to a mediator prior to any litigation, and the parties hereby expressly agree that no claim or dispute arising under the terms of this Agreement shall be resolved other than first through mediation and, only in the event that such mediation efforts fail, through litigation.

9.02 The parties shall exercise good faith efforts to select a mediator who shall be compensated equally by both parties. Mediation will be conducted in Portland, Oregon unless both parties agree in writing otherwise. Both parties agree to exercise good faith efforts to resolve disputes covered by this section through this mediation process. If a party requests mediation and the other party fails to respond within ten (10) days, or if the parties fail to agree on a mediator within ten (10) days, a mediator shall be appointed by the presiding judge of the Multnomah County Circuit Court upon the request of either party. The parties shall have any rights at law or in equity with respect to any dispute not covered by this section.

EXHIBIT "A"

ARTICLE 10 - CONTRACT DOCUMENTS

10.01 Contractor will comply with all provisions set forth in the Contract Documents as if fully set forth herein.

10.02 The term "Contract Documents" means and includes the following:

Invitation to Bid	Payment Bond
Information for Bidders	Performance Bond
Instructions to Bidders	Notice of Award
Bid Proposal Form	Notice to Proceed
Non-Collusion Affidavit	Change Order
Prevailing Wage Certification	General Conditions
Resident Bidder Status	City of Fairview – Standard General Conditions
Asbestos Certification	State Wage Rates
Statement of Drug Testing Program	Special Provisions
First Tier Subcontractor Disclosure Form	Contract Drawings prepared or issued by All County Surveyors & Planners, Inc., dated March 2014
Qualification of Bidder	City of Fairview Standard Details
Bid Bond	Addendum: No. <u>1</u> , dated <u>November 3, 2016</u>
Agreement	Addendum: No. <u> </u> , dated <u> </u>
	Addendum: No. <u> </u> , dated <u> </u>
	All items included within these Contract Documents.

ARTICLE 11 - MISCELLANEOUS

11.01 No assignment by a party hereto of any rights under or interests in the Contract Documents will be binding on another party thereto without the written consent of the party sought to be bound; and specifically without limitation, moneys that may become due and moneys that are due may not be assigned without such consent (except to the extent that the effect of this restriction may be limited by law), and unless specifically stated to the contrary in any written consent to an assignment no assignment will release or discharge the assignor from any duty or responsibility under the Contract Documents.

11.02 Owner and Contractor each binds himself, his partners, successors, assigns and legal representatives to the other party hereto, his partners, successors, assigns and legal representatives; in respect to all covenants, agreements and obligations contained in the Contract Documents.

EXHIBIT "A"

IN WITNESS WHEREOF, the parties hereto have signed two copies of this Agreement.

This Agreement will be effective on _____, 2016.

Owner: _____ City of Fairview _____

_____ 1300 NE Village Street _____

_____ Fairview, Oregon 97024 _____

Contractor: Jim Smith Excavating, Inc.

PO Box 429

Oregon City, OR 97045

By: _____

By: _____

Address for giving Notices: PO Box 429
Oregon City, OR 97045

EXHIBIT "A"

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EXHIBIT "A"

PAYMENT BOND

KNOW ALL MEN BY THESE PRESENTS: That, WHEREAS, the City of Fairview, State of Oregon, on _____, 20____, has awarded to _____ hereinafter designated as "Principal", a Contract for construction of the NE 7th St. (Main-Cedar) Sidewalk Improvements Phase 6, the terms and provisions of which contract are incorporated herein by reference, and;

WHEREAS, said Principal is required to furnish a bond in connection with this said Contract, providing that if said Principal, or any of his or its subcontractors, shall fail to pay for any materials, provisions, provender or other supplies or teams used in, upon, for, or about the performance of the work contracted to be done, or any other work or labor done thereon of any kind, the Surety of this body will pay the same to extend hereinafter set forth;

NOW, THEREFORE, we the Principal and _____, as Surety, are held and firmly bound unto the City of Fairview, State of Oregon, in the penal sum of _____ Dollars (\$ _____), lawful money of the United States, being one hundred percent (100%) of the Contract amount for the payment of which sum well and truly to be made, we bond ourselves, our heirs, executors, administrators and successors, jointly and severally, firmly by these presents.

NOW, THEREFORE, if the above bounden Principal or any of his subcontractor shall promptly make payment to all persons supplying labor and material or amounts due in the prosecution of the work provided for in said Contract, and any and all duly authorized modifications of said Contract that may hereafter be made, then this obligation shall be void; otherwise, this obligation shall remain in full force and virtue; and if the bounden Principal or any of his subcontractors fails to promptly pay any of the persons or amounts due with respect to work or labor performed by any such claimant, the Surety will pay for the same, in an amount not exceeding the sum specified in this bond, and also in case suit brought upon this bond, a reasonable attorney's fee, be fixed by the court; and this bond shall insure to the benefit of any persons so as to give a right of action to such persons or their assigns in any suit brought upon this bond.

The bond shall insure to the benefit of any all persons, companies and corporations entitle to file claims, so as to give a right of action to them or their assigns in any suit brought upon this bond.

EXHIBIT "A"

And the said Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration or addition to the terms of the Contract, or to the work to be performed there under, or the Specifications accompanying the same shall in any wise affect its obligations on this bond; and it does hereby waive notice of any such change, extension of time, alteration or addition to the terms of the Contract, or to the work or to the Specifications.

IN WITNESS WHEREOF, the above bounden parties have executed this instrument under their seals this _____ day of _____, 2016, the name and corporate seal of each corporate party being hereto affixed and these presents duly signed by its undersigned representative, pursuant to authority of its governing body.

Principal

Attorney-in-Fact, Surety

Name and Address
Local Office of Agent

EXHIBIT "A"

PERFORMANCE BOND

KNOW ALL MEN BY THESE PRESENTS: That, WHEREAS, the City of Fairview, State of Oregon, on _____, 20__16__, has awarded to _____; hereinafter designated as the "Principal", a Contract for construction of the NE 7th St. (Main-Cedar) Sidewalk Improvements Phase 6, the terms and provisions of which Contract are incorporated herein by reference, and;

WHEREAS, said Principal is required under the terms of said Contract to furnish a bond for the faithful performance of said Contract;

NOW, THEREFORE, we, the Principal and _____ as Surety, are held and firmly bound unto the City of Fairview, State of Oregon, in the penal sum of _____ Dollars (\$_____), lawful money of the United States, being one hundred percent (100%) of the Contract amount for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators and successors, jointly and severally, firmly by these presents.

THE CONDITION OF THIS OBLIGATION IS SUCH, that if the above bound Principal, his or its heirs, executors, administrators, successors, or assigns, shall in all things stand to and abide by, and well and truly keep and faithfully perform the covenants, conditions, and agreements in the said Contract and any alterations made as therein provided, on his or their part, to be kept and performed at the time and in the manner therein specified, and in all respects according to their true intent and meaning, and shall indemnify and save harmless City of Fairview, its officers and agents, as therein stipulated, then this obligation shall become null and void; otherwise it shall be and remain in full force and virtue.

As a condition precedent to the satisfactory completion of the said Contract, the above obligation to the amount of _____ Dollars (\$_____), shall hold good for a period of one (1) year after the completion and acceptance of the said work, during which time if the above bounden Principal, his or its heirs, executors, administrators, successors or assigns shall fail to make full, complete and satisfactory repair and replacements or totally protect the said City of Fairview from loss or damage made evident during said period of one (1) year from the date of

EXHIBIT "A"

acceptance of said work, and resulting from or caused by defective materials or faulty workmanship in the prosecution of the work done, the above obligation in the said sum of _____ Dollars, (\$_____), shall remain in full force and virtue; otherwise the above obligation shall be void.

And the said Surety, for value received, hereby stipulates and agrees that no change, extension of time, alteration of addition to the terms of the Contract or to the work to be performed thereunder or the Specifications accompanying the same shall in any wise affect its obligations on this bond; and it does hereby waive notice of any such change, extension of time alteration or addition to the terms of the Contract, or to the work, or to the Specifications.

In the event the City of Fairview or its successors or assigns, shall be the prevailing party in an action brought upon this bond, then in addition to the penal sum hereinabove specified, we agree to pay to said City of Fairview, or its successors or assigns, a reasonable sum on account of attorney's fees in such action, which sum shall be fixed by the court.

IN WITNESS WHEREOF, the above bounden parties have executed this instrument under their seals this _____ day of _____, _____, the name and corporate party being hereto affixed and these presents duly signed by its undersigned representative, pursuant to authority of its governing body.

_____ Principal

Attorney-in-Fact, Surety

Name and Address
Local Office of Agent

EXHIBIT "A"

NOTICE OF AWARD

DATE: _____

TO: Jim Smith Excavating, Inc.
PO Box 429
Oregon City, OR 97045

NAME OF PROJECT: NE 7th St. (Main-Cedar) Sidewalk Improvements Phase 6

The Owner has considered the Bid submitted by you for the above described work in response to its Advertisement for Bids dated _____ October 19, 2016 _____ and _____ October 26, 2016 _____, and Contract Documents.

You are hereby notified that your bid has been accepted for items in the amount of

One Hundred Nine Thousand Seven Hundred Ninety Five dollars and zero Cents. (\$ 109,795.00).

You are required by the Bidding Documents to execute the Agreement and furnish the required Contractor's Performance Bond, Payment Bond, and Certificates of Insurance within ten (10) calendar days from the date of this notice to you.

If you fail to execute said Agreement and to furnish said Bonds within ten (10) calendar days from the date of this notice, said Owner will be entitled to such other rights as may be granted by law.

You are required to return an acknowledged copy of this Notice of Award to the Owner.

Dated this _____ day of _____, 2016.

City of Fairview _____
Owner

by: _____ Allan Berry, PE _____

Title: _____ Public Works Director _____

ACCEPTANCE OF NOTICE

Receipt of the above **NOTICE OF AWARD** is hereby acknowledged.

Firm: _____ Jim Smith Excavating, Inc. _____, this the _____ day of _____, 2016.

by: _____

Title: _____

EXHIBIT "A"

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EXHIBIT "A"

NOTICE TO PROCEED

DATE: _____

TO: _____

NAME OF PROJECT: Main Street Improvements 2014.

You are hereby notified to commence work in accordance with the Agreement dated:

_____, 20____, within 10 calendar days of the date of this notice, or,
_____, 20____, and you are to complete the work by January 30, 2016.

Owner

by: _____

Title: _____

ACCEPTANCE OF NOTICE

Receipt of the above **NOTICE TO PROCEED** is hereby acknowledged.

Firm: _____, this the _____ day of _____, 20____.

by: _____

Title: _____

EXHIBIT "A"

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EXHIBIT "A"

CHANGE ORDER

Change Order No. _____

Date: _____

Agreement Date: _____

NAME OF PROJECT: Main Street Improvements 2014

OWNER: City of Fairview

CONTRACTOR: _____

The following changes are hereby made to the Contract

Justification: _____

Original Contract Price was: \$ _____

Previously Approved Change Order(s): \$ _____

Contract Price prior to this Change Order: \$ _____

Contract Price for this Change Order will be (circle one) *increased decreased* by: \$ _____

New Contract Price including this Change Order will be: \$ _____

The Contract Time will be (circle one) *increased decreased unchanged* by (_____) days.

The date for substantial completion as of the date of this Change Order, therefore, is: _____
(Date).

To be effective, this Change Order must be approved by the federal agency if it changes the scope or objective of the Project, or as may otherwise be required by the Special Provisions.

Requested by: _____

Recommended by: _____

Ordered by: _____

Accepted by: _____

Federal Agency Approval: _____
(when applicable)

EXHIBIT "A"

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AGENDA STAFF REPORT

MEETING DATE	AGENDA ITEM #	REFERENCE NUMBER
November 16, 2016	8.a.	18-2016

TO: Mayor and City Council
FROM: Heather Martin, City Attorney's Office
THRU: Nolan K. Young, City Administrator
DATE: November 10, 2016

ISSUE:

Should the City Council adopt penalty amounts for Class 1 civil infractions under Fairview Municipal Code (FMC) Chapter 1.01?

BACKGROUND:

Earlier this year, the City's former code compliance officer noted that there is a provision under the Development Code that calls for violations of that section to be a Class 1 civil infraction. Except for one section of the Development Code (Section 19.106.130 which sets a not to exceed \$500 fine for unauthorized removal of native vegetation from a natural resource protection area) there are no other provisions for penalties in the Development Code. In searching the rest of the Code, there is no other mention of a Class 1 penalty nor does the Municipal Court have any set fine for this penalty. The City's new Code Compliance Officer and City Administrator asked the City Attorney to draft language for consideration by the Council to address this issue so that when there are violations of the Development Code, it is clear what penalty could be assessed.

The easiest remedy for this problem is to amend the Code as it does not appear that the Municipal Court adopts its own fine schedule according to the Municipal Court Clerk. The City's current fines are either set by the state (moving violations), Multnomah County (parking violations), or are set out in the Fairview Municipal Code (FMC or Code). Attached is the Municipal Court's current fine schedule.

It should also be noted that the changes to the Code are not being made to Title 19 (Development Code) where the Class 1 penalty language is found to avoid a longer process to adopt potential changes. Typically, any changes to the City's Development Code have to go through the state Department of Land Conservation and Development (DLCD); however, this is only required for comprehensive plan or land use regulation changes. Setting the penalty/fine amount is arguably not a "land use regulation" and likely does not need DLCD review but to avoid any issues, it is recommended that the change occur outside the Development Code; hence the changes to Chapter 1.01 instead. .

Attached is a potential revision to FMC 1.01 .090 (B) which sets Class 1 penalties at a range between \$100 but not more than \$999. Section 1.01.090 (C) lists the factors that can be taken into account when setting

{00544871; 2 }

the actual penalty. It is useful to have a wider range for Class 1 penalties because it covers the entire Development Code where a violation could range from improper uses in a certain zone, not meeting design standards (which can be major or minor depending on the violation), not following the sign requirements, not following approval criteria, etc.

At the November 2 Council Work Session Council also expressed a desire to remove ability to pay as a factor a court can take into consideration when setting fine amounts. That change has also been made in the attached ordinance.

RECOMMENDED ACTION:

Adopt FMC changes to set a penalty amount for Class 1 penalties.

ALTERNATIVE ACTIONS:

- Do not adopt Code changes.
- Wait for comprehensive Code review and adopt changes at a later date as part of a larger process.

BUDGET IMPLICATIONS:

n/a

COUNCIL ALTERNATIVES:

1. Staff Recommendation: Adopt proposed Code changes setting Class 1 penalty between \$100-\$999 where actual fine is dependent on factors already listed in the Code.
2. Do not adopt any changes to the Code.
3. Postpone changes to the Code and review as part of a more comprehensive Code review to be performed by the Code Compliance Officer.



ORDINANCE
(10 - 2016)

**AN ORDINANCE OF THE FAIRVIEW CITY COUNCIL AMENDING
CHAPTER 1.01 OF THE FAIRVIEW MUNICIPAL CODE CONCERNING
CLASS 1 PENALTIES AND DELETING FACTOR COURT MAY TAKE INTO
ACCOUNT**

WHEREAS, the City’s Charter and City regulations allow the City to set penalty amounts for violations of the Fairview Municipal Code (Code or FMC); and

WHEREAS, under Chapter 19 (Development Code) of the FMC, any violations of that chapter are subject to a Class 1 civil infraction; and

WHEREAS, it is likely that earlier versions of the Code contained a penalty amount for Class 1 civil infractions but the most recent version does not; and

WHEREAS, other violations of the FMC have a penalty amount listed in the Code for violations; and

WHEREAS, the Council desires to amend the FMC to be consistent with current Code provisions and to clarify what penalties are associated with Class 1 civil infractions and to delete ability to pay as a factor a court can take into account when determining penalty amounts.

THE CITY OF FAIRVIEW ORDAINS AS FOLLOWS:

Section 1 The Council hereby amends Chapter 1.01 of the Code as shown in substantially the same form as the attached Exhibit “A”.

Section 2 This ordinance is and shall be effective thirty (30) days from its passage.

Ordinance adopted by the City Council of the City of Fairview, this 7th day of December, 2016.

Mayor, City of Fairview
Ted Tosterud

ATTEST

City Recorder, City of Fairview
Devree Leymaster

Date

EXHIBIT A

(additions in *italics*, deletions in ~~strikethrough~~)

1.01.090 Violations – Penalty.

A. It shall be unlawful for any person or entity to violate any provision or to fail to comply with any requirement imposed by the Fairview City Code. Any person or entity violating any provision or failing to comply with any requirement imposed by this code, unless provision is made specifically otherwise in this code, is subject, upon a determination that such violation or failure has occurred, to a civil penalty of up to \$1,000 per day for each day the violation or failure to comply has existed. Any act or omission made unlawful under the city code includes causing, allowing, permitting, aiding, abetting, or concealing such act or omission.

B. Any person, firm, association, or corporation violating any provision of the FMC where the penalty is deemed a Class 1 civil infraction should be subject to:

1. A civil fine of not less than \$100 and no more than \$999 for each violation.

BC. In establishing the amount of any civil penalty, a court (including the municipal court) should consider any of the following factors that the court deems relevant:

1. The actions taken by the person or entity to mitigate or correct the violation;
- ~~2. The financial condition of the person or entity charged with the violation;~~
- ~~3.~~ *2*Whether the violation or the failure to comply is repeated or continuous in nature;
- ~~4.~~ *3*The magnitude or gravity of the violation or failure to comply;
- ~~5.~~ *4*The cooperativeness of the person or entity with the city;
- ~~6.~~ *5*The cost to the city of investigating, correcting, attempting to correct and/or prosecuting the violation or failure; and
- ~~7.~~ *6*Any other factor deemed by the court to be relevant. (Ord. 14-1999 § 1)



FAIRVIEW POLICE DEPARTMENT
MONTHLY ACTIVITY REPORT

OCTOBER 2016



GENERAL STATISTICS/TYPE	THIS MONTH	YTD THIS YEAR	YTD LAST YEAR	% +/-	TOP 5 TRAFFIC CITE CHARGES	
Dispatched Incidents	393	3,833	3,461	10.75%	Driving Uninsured	19
Officer Initiated Incidents	215	3,352	3,477	-3.60%	Driving While Suspended	14
Total Number of Incidents	608	7,185	6,938	3.56%	Speeding	6
Number of Apartment Incidents	72	662	649	2.00%	No Drivers License	6
Police Reports Filed	116	863	552	56.34%	DUII	5
Traffic Contacts	90	2,293	2,678	-14.38%	ALARM ADMINISTRATION REPORT	
Citations Issued (Charges)	70	993	1,431	-30.61%	Renewals Billed	0
DUII	5	59	41	43.90%	Renewal Fees Collected	\$0.00
Gang Contacts	4	23	60	-61.67%	Senior Exempt Permits	1
Community Policing Contacts	106	1,356	1,697	-20.09%	New Permits Issued	8
Foot Patrol Contacts	51	1,234	1,161	6.29%	False Alarms w/No Permit	0
Murders	0	0	0	0.00%	1st False Alarm Events	2
Chinook Landing Patrol Minutes	925	14,745	14,219	3.70%	2nd False Alarm Events	1
Chinook Landing Dispatched	2	113	116	-2.59%	3rd False Alarm Events	2
Blue Lake Patrol Minutes	345	5,566	4,591	21.24%	False alarm fees collected	\$0.00
Blue Lake Dispatched Incidents	1	42	32	31.25%	False alarm fees billed	\$575.00
Tow Releases	5	57	33	72.73%	Day of most false alarms	Monday
Bike Helmet Contacts	3	44	34	29.41%	Time most false alarms	6:00 AM
Time Off (Days)	37	359	250	43.60%		
Rhino Deployments	0	1	1	0.00%		
COPP Deployments	5	73	40	82.50%		

, Partnership, Innovation, Communication, Empowerment"



FAIRVIEW POLICE DEPARTMENT MONTHLY ACTIVITY REPORT

OCTOBER 2016



SELECTED CALLS FOR SERVICE**	THIS MONTH	YTD THIS YEAR	YTD LAST YEAR	% +/-	SPECIFIC OVERTIME CATAGORIES	HOURS
Abuse/Neglect	1	7	9	-22%	Cover Short Shift	23.50
Accident/Injury or Fatal	3	34	38	-11%	Court	26.75
Accident/Property Damage	8	94	68	38%	Traffic Safety Grant	0.00
Assault	8	66	66	0%	Gang Unit	31.00
Burglary	6	37	27	37%	Presentations/Meetings	17.25
Domestic Disputes	0	9	12	-25%	Patrol-End of Shift	19.50
Drugs/Narcotics	1	27	21	29%		
Disturbance-Fights-Noise	30	294	264	11%		
Forgery/Fraud	3	19	26	-27%		
Hit and Run	3	57	63	-10%		
Neighborhood Problem	0	0	0	0%		
Runaway/Missing	7	100	61	64%		
Sex Offense	5	19	31	-39%		
Suicide	3	28	31	-10%		
Suspicious Person or Circumstance	48	615	554	11%		
Thefts	47	296	256	16%		
Trespass/Prowler	0	7	0	700%		
Vandalism	16	73	66	11%		
Vehicles Recovered	8	33	17	94%		
Vehicles Stolen	11	90	34	165%		
Death(Not Suicide/Murder)	1	6	11	-45%		

**Coded at time of dispatch, not final disposition

Partnership, Innovation, Communication, Empowerment"

Vehicular Crimes Team (VCT) Monthly Report

The Vehicular Crimes Team (VCT) is an inter-agency investigative unit whose members have enhanced training in the area of vehicular crashes. The VCT can insure that a comprehensive and complete investigation will be conducted in a professional manner.

The VCT is activated when a crash involves serious, near fatal or fatal injuries where felony level criminal charges against one or more parties may result. The VCT is also activated when the crash is defined as a high liability incident such as crashes involving government owned or leased vehicles. The VCT can also be activated for crashes involving circumstances beyond the expertise of regular patrol officers and also for non-chargeable fatality crashes. The VCT responds to crashes in the cities of Fairview, Troutdale and Gresham, and in unincorporated Multnomah County. The Fairview Police Department has a supervisor assigned to the team who responds only to incidents occurring within the geographical boundaries of Fairview. Currently, we have Officer Gerkman assigned to the team.

There were no VCT activations resulting from a crash inside Fairview city limits during the month of October.

Officer	Date	Venue Agency	Overtime Hours	Regular Hours	Type of Call out

Neighborhood Response Team Report

NRT Monthly Statistics

<u>Activity</u>	<u>Monthly Total</u>	<u>Yearly Total</u>
Contacts	0	0
Gang Contacts	0	0
Felony Arrests/Charges	0	0
Misd. Arrests/Charges	0	0
Citations	0	0
Weapons Seized	0	0
Narcotics Seized/Weight	0	0
Cases Assigned	0	0
Cases Closed	0	0
Missions	0	0



Fairview Police Department

SUPERVISORS REPORT TO CHIEF AND COUNCIL

MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



Prepared by Sergeant Kirby

October 2016

SCHOOL RESOURCE OFFICER (SRO) MONTHLY REPORT

The School Resource Program (SRO) is a valuable partnership between the Reynolds School District and the Fairview Police Department. The SRO investigates incidents which occur on the properties of all schools within Fairview city limits (Reynolds Middle School, Reynolds Learning Academy, Woodland Elementary School, Fairview Elementary School, Salish Elementary School), as well as the Administrative offices for the district.

The SRO concentrates on the schools and is an “on-site” officer at one of the largest middle schools in the state. This allows a regular patrol officer to focus on the rest of the city. Officer Flener is currently in this assignment. He deals with a wide range of issues, such as attendance, assaults, child abuse, thefts and gangs. He also conducts interventions, gives presentations to faculty and students, and meets with parents about issues. –NO SCHOOL -summer vacation.

	This Month	Year to Date
Student Interventions	26	43
Assist Faculty with Problem	16	36
Meeting/Assist Family/Parents/Guardians	4	12
Classroom Presentations	3	3
Welfare Check/Home Check	3	3
Gang Affiliation Contacts	1	1



Fairview Police Department

SUPERVISORS REPORT TO CHIEF AND COUNCIL

MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



Prepared by Sergeant Kirby

October 2016

Major Crimes Team (MCT) Report

The Major Crime Team (MCT) is an inter-agency investigative unit whose members have enhanced training in the area of major crimes. The MCT can ensure that a comprehensive and complete investigation will be conducted in a professional manner. It also facilitates the proper scene documentation, investigatory conclusions and ensures any evidence gathered from the investigation meets the rigorous standards necessary for the admissibility of evidence into a court of law.

The MCT is activated when a crime involves serious, near fatal or fatal injuries where felony level criminal charges against one or more parties may result. The MCT is also activated when a member of the Portland Police Bureau is involved in a shooting. The MCT can also be activated for crimes involving circumstances beyond the expertise of regular patrol officers. The MCT responds to crimes in the cities of Fairview, Troutdale, Gresham, unincorporated areas of Multnomah County and Portland (officer involved shootings only)

The Fairview Police Department has a supervisor who responds mainly to incidents occurring in Fairview. Additionally, one Fairview Officer is assigned to the MCT, who is on-call alternating weeks during the month and is subject to being paged out for an MCT activation at any time day or night.

Prepared by Sergeant Kirby



Fairview Police Department

SUPERVISORS REPORT TO CHIEF AND COUNCIL

MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



Detectives Monthly Report

CASES ASSIGNED	TOTAL	YTD
Fairview police cases assigned for investigation follow-up	46	186
Outside police agency cases received and referred to investigator	0	15
DHS cross reporting cases referred to investigator and Child Abuse Team cases	3	52
Domestic Violence cases referred for investigator follow-up	0	28
Domestic Violence cases Review Only-No Action Required	0	10
Outside Agency Reports Reviewed	4	32
MISCELLANEOUS ASSIGNMENTS	TOTAL	YTD
Investigative Assists-Fairview	3	33
Investigative Assists-Outside Agency	3	26
Sex Offenders Assessed/Interviewed	11	117
Sex Offenders Arrested	0	0

ASSIGNED CASES FINAL DISPOSITION	TOTAL	YTD
Closed - Cleared by Arrest or Citation	0	9



Fairview Police Department SUPERVISORS REPORT TO CHIEF AND COUNCIL MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



Closed - Referred to District Attorney's Office for Review	2	14
Closed- Suspend, No Further Follow-up Possible at this Time. Reopen if More Develops	0	31
Closed - Unfounded	0	13
Closed - Cleared by Exception- Civil Compromise, Victim Will Not Prosecute	0	7
Closed - No Crime	0	2
Referred to Another Agency for Further Action, Nothing Else Can be Done by Fairview PD	0	1
Reports Reviewed-No Action Required	6	46
COMMUNITY CONTACTS	TOTAL	YTD
Neighborhood Watch Program/Community Meetings	3	21
School Talks	0	0
Self Defense Classes	0	1
Apartment Management Contact	1	19
Citizen Contact	10	96
COMMENTS		
Assist DA's Office DV 16-5644		
Surveillance 5 star Storage Thefts		
GPD Homicide 16-57884 16-61429		
Various DHS assigned follow up cases. Oaks Woods shots fired call no suspects found		
Assist PPB Robbery incident 174 /powell		

Prepared by: Sergeant Kirby

October 2016



Fairview Police Department

SUPERVISORS REPORT TO CHIEF AND COUNCIL

MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



Vehicular Crimes Team (VCT) Monthly Report

The Vehicular Crimes Team (VCT) is an inter-agency investigative unit whose members have enhanced training in the area of vehicular crashes. The VCT can insure that a comprehensive and complete investigation will be conducted in a professional manner.

The VCT is activated when a crash involves serious, near fatal or fatal injuries where felony level criminal charges against one or more parties may result. The VCT is also activated when the crash is defined as a high liability incident such as crashes involving government owned or leased vehicles. The VCT can also be activated for crashes involving circumstances beyond the expertise of regular patrol officers and also for non-chargeable fatality crashes. The VCT responds to crashes in the cities of Fairview, Troutdale and Gresham, and in unincorporated Multnomah County. The Fairview Police Department has a supervisor assigned to the team who responds only to incidents occurring within the geographical boundaries of Fairview. We currently have two officers assigned to the VCT. Congratulations to Officer Delatorre and Officer Gerkman for being selected for the assignment

There were __ VCT activations resulting from a crash inside Fairview city limits during the month. **This section is not assigned to Sgt. Kirby.**

Officer	Date	Venue Agency	Overtime Hours	Regular Hours	Type of Callout



Fairview Police Department

SUPERVISORS REPORT TO CHIEF AND COUNCIL

MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



Neighborhood Response Team (NRT) Monthly Report

The NRT will generally try to conduct assignments on overlap Wednesdays. This is when we have the most available officers to conduct assignments. One of our NRT overlap Wednesday activities for the month of January consisted of _____ Another assignment consisted of _____ We generally will have 4 assigned overlap Wednesdays for the month; however we only completed ___ days this month due to low staff levels. **This section not assigned to Sgt. Kirby.**

Activity	This Month	Year To Date
Contacts		
Gang Contacts		
Felony Arrests/Charges		
Misdemeanor Arrests/Charges		
Citations Issued		
Weapons Seized		
Narcotics Seized/Weight		
Cases Assigned		
Cases Closed		
Overlap Assignments		



Fairview Police Department

SUPERVISORS REPORT TO CHIEF AND COUNCIL

MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



Prepared by: Sergeant Kirby

October 2016

Reserve Officer Program Monthly Report

Monthly Reserve Officer Activity							
Officer	Regular Patrol	Field Training Program	Meetings	Court	Regular Training	Special Assignment	Total
McClaghry	7.25						7.25



Fairview Police Department
SUPERVISORS REPORT TO CHIEF AND COUNCIL
MONTHLY UNIT OR SPECIAL ACTIVITY REPORT



**COPP MONTHLY REPORT
October 2016**

DATE	LOG IN	LOG OUT	TOTAL MINUTES
10/4/2016	8:10	9:41	1 hour 31 minutes
10/6/2016	8:10	8:56	44 minutes
10/8/2016	9:28	11:44	2 hours 16 minutes
10/10/2016	8:35	10:08	1 hour 33 minutes
10/11/2016	9:25	11:00	1 hour 35 minutes
Total			7 hours 39 minutes



MINUTES
ECONOMIC DEVELOPMENT ADVISORY
COMMITTEE (EDAC) MEETING
1300 NE Village Street
Fairview, OR 97024
October 13, 2016

PRESENT:

Dean Hurford, Chair
George Lingelbach
Henry Pelfrey
Renaye Delano
Jeff Anderson
Brenda Ziegler
Laurie Kelly
Ted Tosterud, Co-Council Liaison
Dan Kreamier, Co-Council Liaison

PUBLIC:

None

STAFF:

Erika Palmer, Senior Planner

1. CALL TO ORDER:

Chair Hurford called the meeting to order at 5:51 p.m.

2. ROLL CALL

Chair Hurford identified who was present by roll call.

3. PUBLIC WISHING TO SPEAK ON NON-AGENDA ITEMS

None.

4. ADOPTION OF MINUTES

EDAC Member Anderson clarified the statement on page 2 of the minutes (August 11, 2016). The first question that should be asked is whether or not residents in Old Town want sidewalks.

EDAC member Delano moved to adopt minutes, EDAC member Pelfrey seconded. Motion passed.

5. CITY COUNCIL LIAISON UPDATE

Mayor Tosterud asked if anyone knows what is going to happen to the empty lot to the south of the VA Clinic, by the post office. Planner Palmer stated that she has had conversations with Jeff Parker who owns the site and the discussion has primarily been a mixed-used development or office/retail. Currently, the owner and architect are floating ideas.

Mayor Tosterud read minutes from the previous council meeting in regards to city branding. EDAC member Ziegler asked if EDAC's recommendation was forwarded to council. Planner Palmer stated that she gave an update to council on EDAC business and part of this update included EDAC's recommended action on branding.

Mayor Tosterud shared that council directed staff to move forward with the sidewalk cost estimate study. EDAC member Ziegler asked who is the city working with on completing this study. Planner Palmer stated that the city Public Works staff has been working with a consultant.

Mayor Tosterud stated if members of EDAC would like council updates on something specific, to let Planner Palmer know prior to the meeting. In doing so, we can better prepare and bring all information to the EDAC table.

6. Halsey Corridor Update

Chair Hurford said that the meeting on October 6th, was a productive meeting on the corridor. Planner Palmer said that the next Community Meeting for this project is Thursday, October 27th at the Wood Village Baptist Church on Arata Rd. from 6:30 – 8:30 pm.

Chair Hurford stated that the consultants have done a good job and asked if there is a way to get a copy of the PowerPoint. Planner Palmer stated that she will send out a link tomorrow in the formal invitation that which will have all the information that was provided at the last workshop.

Chair Hurford said that the project name is a good start and that there were discussions about developing a district name that would be unique to the communities out here. Chair Hurford asked EDAC if this idea of developing a district identity would be good to put on a future agenda to brainstorm ideas.

Mayor Tosterud stated that the consultants will be giving a short presentation at the Mayor's Roundtable meeting on November 17th from 11:30- 1:00pm at City Hall.

Chair Hurford urged everyone to go to the link to get more information on the project.

EDAC member Delano asked, what is Wood Village's goal for the dog track site? Chair Hurford and Planner Palmer stated that the tribe has indicated a family orientated entertainment complex.

EDAC member Anderson asked what rules are different for the tribe in what they do on that parcel? Planner Palmer stated that they will have to meet the zoning requirements for that area, all city codes, state gaming requirements if gaming devices are put in.

EDAC Chair Hurford asked EDAC about redevelopment possibilities along the corridor. EDAC member Delano asked how much land can be redeveloped along Halsey. Planner Palmer stated that there is quite bit of land that has redevelopment potential along the corridor within Fairview.

EDAC Chair Hurford asked about the market analysis that was prepared and asked if it can be forwarded to EDAC to review. Planner Palmer stated that this can be sent in the next EDAC packet.

EDAC member Lingelbach stated that as the corridor project moves along, where things should go and how new development will come along – it's been a slow process in Troutdale but new development is occurring.

EDAC member Lingelbach discussed the industrial development to the west of Fairview Lake Way in the City of Gresham. Mayor Tosterud said that at he will bring the plans to the next EDAC meeting – the developers know that there is opposition to this.

7. TSP UPDATE

Planner Palmer stated the draft TSP is on the city’s website. The City Council and Planning Commission are having a joint meeting on November 2nd. The Planning Commission will hold the first public hearing on the document on November 22nd. City Council will hear Planning Commission’s recommendation on December 7th.

8. STAFF UPDATE

Planning Commission has reviewed amendments to the Development Code that would allow for the opportunity of food cards within the Town Center Commercial zone. Chair Hufford asked to place this topic on the agenda for next month.

Meeting adjourned at 6:50 p.m.

Dean Hurford, Chair EDAC

Date

Erika Palmer, Senior Planner

Date



Public Safety Advisory Committee Meeting Minutes October 26th, 2016

Present:

Terry Hill
Steven Marker
Grant Murrell
Cathi Forsythe

Absent:

Stacy Talus

Staff:

Gary Kirby, Sergeant
Kristi Walls, Records Specialist

1. Call to order:

Meeting was opened by Chair Marker at 6:00 PM.

2. Roll Call:

Roll was called by Kristi Walls, Records Specialist
Please see the above list for present and absent committee members.

3. Approval of minutes:

Chair Marker moved to approve the August 1st, 2016 minutes. Member Forsythe seconded. The motion was passed unanimously.

4. Citizens wishing to speak on non-agenda items:

No Citizens wishing to speak.

5. Presentations: Sergeant Gary Kirby for Interim Chief Harry Smith

Prior to Sergeant Kirby's presentation Chair Marker informed the group that he had spoken with Interim Chief Smith. After speaking with Interim Chief Smith he felt that it was important to share with the group that they have a wait and see attitude before voting on whether to support the merger or not. PSAC will wait until council has more information before they vote on the decision to support or not.

Chair Marker said that it's not about the merger it's about losing the police department.

Kirby read the memo from Interim Chief Smith regarding the Emergency Management Plan. (See attached).

6. Committee Presentations:

None

7. Old Business:

9. New Business:

Chair Marker said he had worked a couple of events with Steve Bullock from Multnomah County Emergency. Bullock told Chair Marker that if we have the Emergency Preparedness document ready and in PDF format, we can send it to him for print and he will ask Multnomah County to provide the monies for printing.

Chair Marker said he will call Steve Bullock and let him know that we are ready for printing the document and see he can get it printed at no cost for us.

Member Forsythe would like to get the document on the website before the actual printing takes place.

Member Murrell suggested that we only have Multnomah County print 300 to start with. We can have the officers carry them with them and hand them out. We can also advertise on the website and the newsletter that they will be available at City Hall to pick up.

Counselor Cooper suggested handing some out to key members of the community, such as church leaders.

Marker told the group that he did an Emergency Preparedness presentation at Smith Memorial Church. One of the church members is a retired FEMA employee and would be willing to talk with PSAC.

Chair Marker also told the group that there is an Emergency Preparedness seminar for city leaders being held at the Convention Center on November 1st and 2nd.

Chair Marker mad a motion to contact Multnomah County and ask to get 300 copies of the brochure printed. Member Forsythe interjected that the document first needs to be customized for Fairview. Member Forsythe said she would contact CA Young and get the information and permission to spend the monies to customize the document.

Chair Marker made a motion to go to CA Young for authorization to spend monies to modify document for Fairview. Member Forsythe seconded. The motion was passed unanimously.

Member Hill told the group that he attended the Troutdale Recreation Emergency Preparedness program. It was very informative. It was free and well attended. Member Hill suggested that we do a similar two night seminar here for Fairview citizens also.

Member Forsythe made a motion to put something on the calendar for an Emergency Preparedness presentation for citizens. Member Murrell also suggested that it include First Aid and CPR training. Member Murrell made a motion to recommend to City Council that an Emergency Preparedness Seminar be put on the calendar. Member Forsythe seconded. The motion was passed unanimously.

Member Murrell suggested that Mike Reese come in and talk to PSAC about the consolidation.

10. Adjournment:

Chair Marker motioned for adjournment. Member Forsythe seconded. The motion was passed unanimously. The meeting was adjourned at 7:19 PM.

Next meeting is scheduled for November 7th, 2016 at 6:00 PM.

Submitted by

Kristi Walls
Records Specialist
08/12/2016

Approved by

Date

DRAFT



ARTS & COMMUNITY EVENTS
ADVISORY COMMITTEE MEETING
1300 NE Village Street
Fairview, OR 97024
Wednesday, October 26, 2016

PRESENT:

Renaye Delano, Chair
Shalynn Rivas, Vice Chair
Mary Murrell
Council Liaison Natalie Voruz

STAFF:

Devree Leymaster, City Recorder

**1. CALL TO ORDER – 5:00 PM
ROLL CALL**

2. PUBLIC WISHING TO SPEAK ON NON-AGENDA ITEMS

None.

3. REVIEW AND ADOPT MINUTES

a. September 28, 2016

Vice Chair Rivas moved to approve the September 28, 2016 minutes and Member Murrell seconded. The motion passed unanimously.

4. EVENTS

a. Veterans Day

Committee Members gave an update regarding the planning of the different elements of the event.

- Event Participants: Vice Chair Rivas has secured three speakers, all of which will also have an information table. Committee agreed there were enough speakers, but there is space for a few more informational tables. VC Rivas will reach out to a few more groups.
- Quilts of Valor: Member Murrell will coordinate the recipient's information. A representative from Quilts of Valor will present the quilt. They will also have an informational table.
- Operation Gratitude: Chair Delano has coordinated with 5 schools to participate in the letter writing and fill-a-wish campaign. Letters and donations will tentatively be picked up the first week in November.
- Dinner: CR Leymaster confirmed D'Pompelli will cater the dinner. They will provide table linens and set-up the dessert table. Members agreed CR Leymaster will purchase the desserts.
- Color Guard: CR Leymaster shared the Color Guard will practice Thursday, November 10 at 6 PM. The Committee is welcome to attend.
- Green Light a Vet: CR Leymaster reported information will be in the November Fairview Point, on the city website, and letters were sent to all residents and businesses along Village St. to encourage their participation.

b. Tree Lighting

Chair Delano shared Matt Hollenbeck, Parks, has secured a tree donation. She proposed having a small banner made to hang near the tree recognizing Wonsler Woods Estate for the donation. The Committee agreed. CR Leymaster will order the banner.

The Committee briefly discussed different aspects of the event.

- Pictures with Santa: City pays the \$200 sitting fee and there is no obligation to buy. Chair Delano will contact photographer for this year's event.
- Santa: prior Santa volunteer is most likely not available. City will rent Santa costume. Chair Delano asked all members to consider potential volunteers.
- Tree decorating: Chair Delano will contact Star Rentals to inquire about donating a lift.
- Craft kits: the committee agreed on the Gingerbread House. CR Leymaster will order them and inventory craft kits left over from previous years.
- Story-time: CR Leymaster will contact the library to see if they will participate and inventory books.
- Choirs: Chair Delano will start contacting choirs to see if they are interested.

Chair Delano requested CR Leymaster have a draft budget available for review at the next meeting.

5. COMMITTEE/STAFF UPTDATES

The Committee agreed to meet November 9 instead of November 23. Not all members were available November 23 because of the Thanksgiving holiday.

6. TENTATIVE AGENDA ITEMS – November 9, 2016

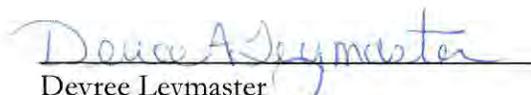
- Veterans Day Event
- Tree Lighting Event

7. ADJOURNMENT

The meeting adjourned at 6:03 PM by unanimous vote.



Renaye Delano, Chair



Devree Leymaster
City Recorder

November 9, 2016
Date



City of Fairview

Check Register

Packet: APPKT01884 - 10/26/2016 COURT REFUND RA

By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
Bank Code: US BANK-OPERATING ACCOUNT						
02090	MICHAEL C. CHAUDOIN	11/02/2016	Regular	0.00	225.00	63391
INV0023619	Invoice	09/19/2016	COURT REFUND #27739	0.00	225.00	

Bank Code US BANK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	225.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	225.00



By Check Number

Vendor Number Payable #	Vendor Name Payable Type	Payment Date Payable Date	Payment Type Payable Description	Discount Amount Discount Amount	Payment Amount Payable Amount	Number
Bank Code: US BANK-OPERATING ACCOUNT						
01335 102516-2	CCR INC Invoice	11/02/2016 10/26/2016	Regular PW 2011 GMC DEDUCTIBLE	0.00 0.00	1,000.00 1,000.00	63366
00310 29115 30004 33236 41369 41715 41721 CM0000320	CHOUGH INC Invoice Invoice Invoice Invoice Invoice Invoice Credit Memo	11/02/2016 07/21/2015 09/18/2016 03/21/2016 09/19/2016 10/10/2016 10/10/2016 04/01/2016	Regular ALS DUTY HOLSTER -SHROPSHIRE PD EMERGENCY FOOD SUPPLY KITS LED BATTERY/CLOTH NAME TAPE/PATCH PD- UNIFORM REPLACEMENTS- KIRBY/AS PD- SHIRTS W/ EMBROIDARY -KIRBY HAWK LAPEL MIC- ASBOE PD- CREDIT UNIFORM REPLACEMENT -RIE	0.00 0.00 0.00 0.00 0.00 0.00 0.00 0.00	803.66 136.99 191.97 89.00 418.18 218.22 110.74 -361.44	63367
00178 INV0023654	CITY OF GRESHAM Invoice	11/02/2016 10/13/2016	Regular GLISAN RESERVOIR SW /POLICE PARKS FE	0.00 0.00	68.77 68.77	63368
00178 40103	CITY OF GRESHAM Invoice	11/02/2016 09/09/2016	Regular NET MOTION SERVER ACCESS	0.00 0.00	1,718.95 1,718.95	63369
02091 INV0023655	CLAUDIA RAMIEZ Invoice	11/02/2016 10/22/2016	Regular CC DEPOSIT REFUND	0.00 0.00	120.80 120.80	63370
01872 1974 1974A	CUSTOM SOFT TECHNICAL SERVICE Invoice Invoice	11/02/2016 10/12/2016 10/12/2016	Regular ADMIN- ON -SITE SUPPORT PD ON-SITE SUPPORT	0.00 0.00 0.00	990.00 810.00 180.00	63371
00293 311789	DIAL TEMPORARY HELP SERVICES IN Invoice	11/02/2016 10/12/2016	Regular TEMP/HELP -GALLAGHER WEEK ENDING	0.00 0.00	547.20 547.20	63372
00314 ORP0840908	FASTENAL COMPANY Invoice	11/02/2016 10/06/2016	Regular LATEX GLOVES	0.00 0.00	39.00 39.00	63373
00125 93030815	GLACIER NORTHWEST INC Invoice	11/02/2016 10/12/2016	Regular BASE AGGREGATES	0.00 0.00	192.02 192.02	63374
00390 0117.021-15 0117.022-9A	GROUNDWATER SOLUTIONS INC Invoice Invoice	11/02/2016 10/13/2016 07/12/2016	Regular WELL PERFORMANCE MONITORING SEPT WATER SYSTEM MASTER PLAN/WATER M	0.00 0.00 0.00	6,075.24 3,592.66 2,482.58	63375
01688 27936	IIMC Invoice	11/02/2016 09/22/2016	Regular MEMBERSHIP FEE - LEYMASTER	0.00 0.00	160.00 160.00	63376
00413 100716	JACK L HOLBORN Invoice	11/02/2016 10/07/2016	Regular FIRST AID/AED TRAINING -FLENER	0.00 0.00	40.00 40.00	63377
02092 INV0023672	KAYEN M. YOSHIDA Invoice	11/02/2016 10/24/2016	Regular TROUTDALE REC PROGRAM REIMB	0.00 0.00	12.00 12.00	63378
02050 58665	L N CURTIS AND SONS Invoice	11/02/2016 10/13/2016	Regular PD UNIFORM REPLACEMENT- EPPERSON	0.00 0.00	760.80 760.80	63379
00416 INV0023670	LAYTHONG CHEA Invoice	11/02/2016 09/28/2016	Regular PD - UNIFORM DRYCLEANING	0.00 0.00	315.55 315.55	63380
02002 INV0023673	NICOLE CANTON Invoice	11/02/2016 10/25/2016	Regular TROUTDALE REC PROGRAM REIMB	0.00 0.00	11.00 11.00	63381
00648 INV0023674	NORTHWEST NATURAL GAS COMPA Invoice	11/02/2016 10/18/2016	Regular GAS HEAT -CITY HALL	0.00 0.00	103.52 19.37	63382

Check Register

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
INV0023675	Invoice	10/18/2016	GAS HEAT -SHOP	0.00	47.71	
INV0023676	Invoice	10/18/2016	GAS HEAT-CC	0.00	36.44	
00676	OFFICEMAX A BOISE CO	11/02/2016	Regular	0.00	409.16	63383
107329	Invoice	09/09/2016	PD-OFFICE SUPPLIES	0.00	83.87	
126957	Invoice	10/03/2016	PW -OFFICE SUPPLIES	0.00	61.66	
154665	Invoice	10/31/2016	PD -OFFICE SUPPLIES	0.00	53.45	
161561	Invoice	10/06/2016	ADMIN/FINANCE -OFFICE SUPPLIES	0.00	210.18	
00713	OTIS ELEVATOR COMPANY	11/02/2016	Regular	0.00	4,330.08	63384
SP06680B16	Invoice	10/20/2016	ELEVATOR SERIVCE CONTACT CHARGES-	0.00	4,330.08	
00756	PORTLAND BUSINESS JOURNAL	11/02/2016	Regular	0.00	110.00	63385
INV0023683	Invoice	10/01/2016	ADMIN/PW -SUBSCRIPTION	0.00	110.00	
00749	REXEL INC	11/02/2016	Regular	0.00	236.00	63386
K386122	Invoice	09/30/2016	BULBS	0.00	236.00	
01126	TAMIE ARNOLD	11/02/2016	Regular	0.00	98.61	63387
INV0023684	Invoice	10/24/2016	LOC CONFERENCE REIMBURSEMT EXPENS	0.00	98.61	
00955	TYLER TECHNOLOGIES INC	11/02/2016	Regular	0.00	19,307.40	63388
025-167705	Invoice	10/01/2016	ANNUAL SOFTWARE MAINTENANCE FEES	0.00	19,307.40	
00674	US BANK NATIONAL ASSOCIATION	11/02/2016	Regular	0.00	325.00	63389
315470039	Invoice	10/14/2016	KONICA C754E COPIER LEASE PAYMENT	0.00	325.00	
02093	YANG WON	11/02/2016	Regular	0.00	11.00	63390
INV0023687	Invoice	10/25/2016	TROUTDALE REC PROGRAM REIMB	0.00	11.00	

Bank Code US BANK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	38	25	0.00	37,785.76
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	38	25	0.00	37,785.76



City of Fairview

Check Register

Packet: APPKT01894 - 11/2/2016 AP RA

By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
Bank Code: US BANK-OPERATING ACCOUNT						
02094	TERRANCE J. SLOMINSKI PC	11/02/2016	Regular	0.00	18,546.00	63393
INV0023691	Invoice	11/02/2016	FOR THE BENEFIT OF SKY HOLDINGS, LLC	0.00	18,546.00	

Bank Code US BANK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	18,546.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	18,546.00



City of Fairview

Check Register

Packet: APPKT01891 - 11/2/2016 PO#17-0005 RA

By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
Bank Code: US BANK-OPERATING ACCOUNT						
00761	PSU	11/02/2016	Regular	0.00	8,000.00	63392
17-083	Invoice	11/02/2016	2 CITIES RECREATION PROGRAM / PARKS	0.00	8,000.00	

Bank Code US BANK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	8,000.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	8,000.00



City of Fairview

Check Register

Packet: APPKT01899 - 11/4/2016 AP RA

By Check Number

Vendor Number Payable #	Vendor Name Payable Type	Payment Date Payable Date	Payment Type Payable Description	Discount Amount Discount Amount	Payment Amount Payable Amount	Number
Bank Code: US BANK-OPERATING ACCOUNT						
00011 90720	ABC FIRE EXTINGUISHER INC Invoice	11/07/2016 10/10/2016	Regular FOUR AMEREX #5 FIRE EXTINGUIHERS	0.00 0.00	236.00 236.00	63396
00740 INV0023695	ANASTASIA OLVERA EICHLER Invoice	11/07/2016 10/19/2016	Regular COURT CONF MILEAGE REIMB- OLVERA-E	0.00 0.00	325.08 325.08	63397
00053 068-71581	ANSWERNET INC Invoice	11/07/2016 10/21/2016	Regular PW ANSWERING SERIVCE/FAX &E-MAIL	0.00 0.00	110.50 110.50	63398
00082 13194	BEERY ELSNER AND HAMMOND LLP Invoice	11/07/2016 10/01/2016	Regular LEGAL SERVICES - SEPTEMBER 2016	0.00 0.00	6,552.63 6,552.63	63399
00178 40461	CITY OF GRESHAM Invoice	11/07/2016 10/18/2016	Regular BLDG PROFESSIONAL SVCS 3/6/16-9/5/20	0.00 0.00	13,468.75 13,468.75	63400
00213 IN1005801	COPYTRONIX Invoice	11/07/2016 10/20/2016	Regular CD/PW COPIER USAGE 9/25-10/24/2016	0.00 0.00	286.41 286.41	63401
00230 742970190	DAILY JOURNAL OF COMMERCE INC Invoice	11/07/2016 10/12/2016	Regular RFP- ENGINEERING SERVICES	0.00 0.00	165.60 165.60	63402
00293 312028	DIAL TEMPORARY HELP SERVICES IN Invoice	11/07/2016 10/19/2016	Regular TEMP/HELP GALLAGHER WEEK ENDING 1	0.00 0.00	547.20 547.20	63403
02095 INV0023706	ELIZABETH DIAZ Invoice	11/07/2016 10/29/2016	Regular CC DEPOSIT REFUND	0.00 0.00	150.00 150.00	63404
01050 81801	FAMILY HOME SERVICES INC Invoice	11/07/2016 10/27/2016	Regular BI-MONTHLY MICE TREATMENT	0.00 0.00	119.00 119.00	63405
01934 006236828 006236829	GALLS LLC Invoice Invoice	11/07/2016 10/14/2016 11/07/2016	Regular PD PATROL RAIN SUIT PANTS NYLON BELT KEEPER REFLECTIVE STRIPIN	0.00 0.00 0.00	1,232.00 946.00 286.00	63406
00361 INV0023710	GOVERNMENT FINANCE OFFICERS A Invoice	11/07/2016 10/18/2016	Regular GFOA MEMBERSHIP FOLGER	0.00 0.00	170.00 170.00	63407
00383 0000046296	GRESHAM LOCKSMITH INC Invoice	11/07/2016 10/06/2016	Regular CH- INSTALL LOCKSET /MOUNTING BRAC	0.00 0.00	212.00 212.00	63408
00385 266639 266639-1	GRESHAM SANITARY SERVICE INC Invoice Invoice	11/07/2016 10/25/2016 10/25/2016	Regular PD SHREDDING ADMIN/FINANCE -SHREDDING	0.00 0.00 0.00	76.15 38.07 38.08	63409
01344 INV0023696	KRISTI WALLS Invoice	11/07/2016 11/01/2016	Regular CONFERENCE MILEAGE REIMB - WALLS	0.00 0.00	19.08 19.08	63410
01496 3919886-1	LANGUAGE LINE SERVICES INC Invoice	11/07/2016 09/30/2016	Regular COURT PHONE INTERPRETATION	0.00 0.00	7.35 7.35	63411
00616 INV0023733	MULTNOMAH COUNTY DIVISION OF Invoice	11/07/2016 10/31/2016	Regular STREET LIGHT TAXES	0.00 0.00	6,424.76 6,424.76	63412
02040 20151781	MULTNOMAH COUNTY DRAINAGE I Invoice	11/07/2016 09/30/2016	Regular GENERAL ASSESSMENT FEE STORMWATE	0.00 0.00	18.56 18.56	63413
00615 INV0023714	MULTNOMAH COUNTY OREGON Invoice	11/07/2016 09/30/2016	Regular COUNTY BOOKING FEE	0.00 0.00	1,105.25 1,105.25	63414

Check Register

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
00640	NEXTEL WEST CORP	11/07/2016	Regular	0.00	740.94	63415
365712310-179	Invoice	10/18/2016	PD CELL PHONES	0.00	575.00	
887622317-179	Invoice	10/18/2016	PW -CELL PHONES	0.00	165.94	
02096	NOLAN YOUNG	11/07/2016	Regular	0.00	126.36	63416
INV0023734	Invoice	10/17/2016	CONFERENCE MILEAGE & MEAL REIMB	0.00	126.36	
00676	OFFICEMAX A BOISE CO	11/07/2016	Regular	0.00	192.09	63417
198816	Invoice	10/12/2016	PW OFFICE SUPPLIES	0.00	114.23	
256837	Invoice	10/19/2016	PD OFFICE SUPPLIES	0.00	77.86	
00689	OREGON ACCREDITATION ALLIANCE	11/07/2016	Regular	0.00	1,050.00	63418
1475	Invoice	10/23/2016	B AGENCY ANNUAL CONTINUATION FEE F	0.00	1,050.00	
00745	PIP PRINTING AND DOCUMENT SER'	11/07/2016	Regular	0.00	607.37	63419
25321	Invoice	10/25/2016	PD OT AUTHORIZATION FORMS	0.00	124.20	
25798	Invoice	10/27/2016	PD FULL COLOR DECAL LABELS	0.00	483.17	
01984	PORTLAND GENERAL ELECTRIC	11/07/2016	Regular	0.00	17.85	63420
0000334985	Invoice	10/15/2016	EXCESS TRANSFORMER CAP - MARINE DRI	0.00	17.85	
01725	RAYMOND P YOUNG	11/07/2016	Regular	0.00	475.00	63421
INV0023727	Invoice	10/31/2016	JUDICIAL SERVICES SEPTEMBER/ OCTOBE	0.00	475.00	
00749	REXEL INC	11/07/2016	Regular	0.00	394.76	63422
K385477	Invoice	10/22/2016	CH LIGHT BULBS	0.00	303.13	
K386122-1	Invoice	09/30/2016	CITY HALL LIGHT BULBS	0.00	72.91	
K388501	Invoice	09/28/2016	CH LIGHT BULBS	0.00	18.72	
00808	RICH'S TREE SERVICE INC	11/07/2016	Regular	0.00	2,250.00	63423
86292-A	Invoice	10/21/2016	REMOVED BRANCHES / FIR /FIREWOOD	0.00	2,250.00	
00941	TRAFFIC SAFETY SUPPLY CO INC	11/07/2016	Regular	0.00	2,166.00	63424
119387	Invoice	09/22/2016	TRAFFIC SIGNS/ANCHOR POST	0.00	2,166.00	
00960	ULINE INC	11/07/2016	Regular	0.00	258.93	63425
81277419	Invoice	10/21/2016	PLASTIC BAGS/JUMBO CABLE TIES	0.00	258.93	
01184	VERIZON WIRELESS	11/07/2016	Regular	0.00	600.27	63426
9773857241	Invoice	10/18/2016	PW INTERNET SERVICE	0.00	200.05	
INV0023732	Invoice	10/31/2016	PD INTERNET	0.00	400.22	

Bank Code US BANK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	39	31	0.00	40,105.89
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	39	31	0.00	40,105.89



City of Fairview

Check Register

Packet: APPKT01900 - 11/7/2016 PETTY CASH RA

By Check Number

Vendor Number	Vendor Name	Payment Date	Payment Type	Discount Amount	Payment Amount	Number
Payable #	Payable Type	Payable Date	Payable Description	Discount Amount	Payable Amount	
Bank Code: US BANK-OPERATING ACCOUNT						
00742	PETTY CASH	11/07/2016	Regular	0.00	300.00	63427
INV0023736	Invoice	11/07/2016	PETTY CASH- VETERANS EVENT	0.00	300.00	

Bank Code US BANK Summary

Payment Type	Payable Count	Payment Count	Discount	Payment
Regular Checks	1	1	0.00	300.00
Manual Checks	0	0	0.00	0.00
Voided Checks	0	0	0.00	0.00
Bank Drafts	0	0	0.00	0.00
EFT's	0	0	0.00	0.00
	1	1	0.00	300.00